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# Land East of the High Street, Halstead

## Development Brief 2004

Approved January 2005



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## Final Report

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## 1.0 Introduction

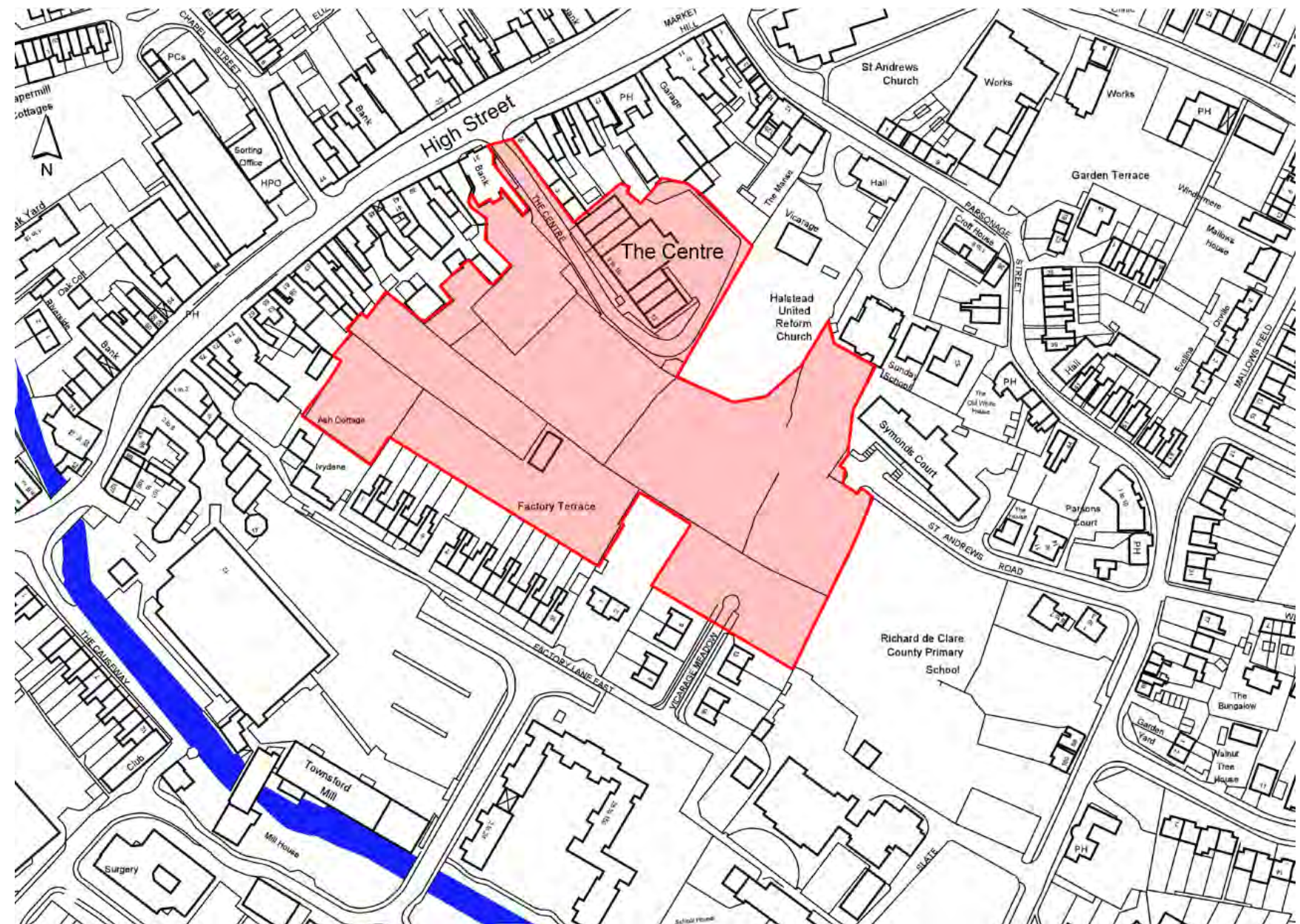
The Built Environment Branch of Essex County Council was commissioned to prepare this development brief for Braintree District Council in accordance with policy set out in the Local Plan Review Revised Deposit Plan of May 2003 and the Pre-Inquiry Changes of November 2003. A public enquiry was held between April and July 2004 into objections to the Local Plan Review.

The town of Halstead has a population of 11,053 and is classified in the Essex and Southend-on-Sea Structure Plan as one of the principal Town Centres in the Braintree District along with Braintree and Witham. New development is to be concentrated in Braintree, Witham and to a lesser extent Halstead with maximum use to be made of land within urban areas. This accords with the policy of locating residential development on sites which can provide good access to employment, shopping, education and community facilities, and which are accessible by a choice of means of transport, especially non-car modes.

The extent and location of the site to be covered by the brief is identified on the site plan.



**Halstead High Street looking south – west**



## Site Plan



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## 1.1 The Consultants

The Urban Design & Regeneration Team within the Built Environment Branch of Essex County Council was established a few years ago to provide a design and visioning service to district councils and local communities. We employ people from a wide variety of professional backgrounds that has the benefit of allowing us to look at the broad picture in our search for innovative solutions. The majority of the work that we do is undertaken on a fee-earning basis and income is reinvested in our regeneration projects and partnerships.

We also benefit from having the additional skills of other ECC branches and service groups available to us when required, and for this initial research we have consulted the Archaeology Group, the Historic Buildings & Conservation Team and Highways and Transportation.

The team has commissioned the following consultants to provide information about the site:

- Robin Webb Consulting Ltd to undertake a topographical survey ;
- Landscape Consultancy of Essex County Council to analyse the landscape features and provide landscape design advice ;
- Westover Woodlands to prepare a tree survey ;
- Essex County Council Field Archaeology Unit to undertake an archaeological assessment ; and
- Essex Ecology Services Ltd (EECOS) to carry out an initial ecological assessment and later survey.

The report by Robin Webb should be read in conjunction with this document. The reports by other consultants have been incorporated into this brief.

## 1.2 Methodology

The brief was initially submitted in two parts. The first part assembled all the available information about the site both in terms of planning context and site analysis and also from specialist reports. A survey drawing dating from 1987 was provided by Braintree District Council and has been used as a basis for determining the contours of the site and the location of trees, however when this was overlaid on a GIS base some discrepancies occurred. The Field Archaeology Unit carried out a field survey to determine further spot heights but some areas were inaccessible due to overgrown trees and scrub.

English Heritage has been consulted about the air raid shelters. We have been advised by the ECC military archaeologist that they would not have been scheduled and that it would be up to the planning authority to protect them at this point in time.

From the information assembled, the constraints and opportunities of the site are identified. The final part of the brief incorporates a proposed layout as to how the site could be developed based on this analysis.

## 1.3 Aims and Objectives

To identify the constraints and opportunities of the site.

To assess how development of the site can be integrated into the urban fabric of Halstead with pedestrian and cycle links.

To provide a shoppers car park for 30 cars with access from the road within The Centre

To provide developers with guidelines as to how Braintree District Council would like to see the site developed for housing and mixed use within the parameters identified in 2.1 and the requirements of planning legislation.

For the brief to provide a comprehensive overview for the development of the land which is now under several different ownerships.

To provide ideas on how the site of The Centre could be improved.

## 2.0 Planning Context

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### 2.0 Planning Context

A brief for the site was prepared by Braintree District Council in 1986. A planning application ref BTE/1884/87 proposing the development of the site for housing with some shops was submitted in 1987 and subsequently approved in 1988 but never implemented.

The site is identified for development in the Review Local Plan in Policy RLP 121. On the latest Proposals Map the land previously allocated for housing has now been reclassified as a Comprehensive Development Area, mixed uses on the site should include a shoppers' car park. The site of The Centre (the road, retail and mixed use units and associated rear parking) retains its status as a Comprehensive Development Area where refurbishment or redevelopment will be encouraged, for retail, office, residential purposes or a mix of these uses.

### 2.1 Housing

The Housing Chapter of the Local Plan Review sets out policies for the Design and Layout of Housing and Mixed Use Areas. RLP 9 refers to the creation of a visually satisfactory environment in character with the site and relating to its environment.

The design and layout will also be expected to comply with the Essex Design Guide for Housing and Mixed Use Areas which has been adopted as Supplementary Planning Guidance. In new developments of 15 dwellings or more, or residential sites of 0.5 hectares or more, provision should be made for 30% of the total number of dwellings to be in the form of affordable housing (RLP 5).

New residential development should seek to achieve mixed communities. Where appropriate a mix of different house types and tenures and other uses, which are compatible with the residential amenities of both existing and proposed dwellings, should be included having regard to size, location

suitability and the economics of provision (RLP 7). The policy on residential density (RLP 10) lays out the factors to be considered when assessing the density and massing of residential development. In general densities of less than 30 dwellings to the hectare will be resisted and 30 to 50 dwellings to the hectare encouraged.

Where appropriate new dwellings will be required to be capable of adaptation without major structural alterations to meet the needs of people with disabilities, including wheelchair users (RLP 22) The building regulations now require all new dwellings to provide a means of access with a level threshold.

The level of vehicle parking within new residential developments will need to reflect the location of the site in relation to public transport, shops, services, and community facilities. Off street parking provision of 1.5 spaces per dwelling is advocated in PPG 3 and this standard has been incorporated into the appendix of the Local Plan.

### 2.2 Transport

The Local Plan states in para. 5.15, that Braintree District Council will commission a study to identify pedestrian and cycle needs in Halstead and following this, implement improvements as identified in the study.

Policy provides for the establishment of pedestrian networks in RLP 49 stating that development proposals will only be permitted where the needs of pedestrians are fully incorporated in the design and layout. This will include the need to provide appropriate links to other land uses and developments, by securing safe, direct, convenient and fully accessible pedestrian networks. Improvements to existing pedestrian routes will be sought through planning obligations.

Provision for integrated cycle ways is laid down in RLP 50. Most cycle ways will be constructed as segregated footways and cycle ways separated by a raised white line or kerb. The requirement for cycle parking facilities is made in policy RLP 51. Cycle parking provision for residential properties is not required where garages are provided but should otherwise be 2 per dwelling (2 beds or more) or 1 per 1 bed dwelling with 8 additional spaces for visitors. Motorcycle parking provision should be one space plus an additional space for every 10 car parking spaces.

Policy RLP 121 identifies a requirement for a shopper's car park on land to the east of the High Street in Halstead.

### 2.3 Environmental Resources and Protection

The Environmental Resources and Protection chapter of the Local Plan sets out the following policies regarding sustainability issues to be addressed in new development:

Where appropriate, the District Council will require developers to use Sustainable Urban Drainage techniques such as grass swales, detention/retention ponds and porous paving surfaces, as methods of flood protection, pollution control and aquifer recharge (RLP 69).

The District Council will require measures that reduce the demand for water in all new developments, including low volume systems and grey water recycling (RLP 70)

New development should incorporate adequate space for internal and external separation, storage and collection, to facilitate the recycling of waste generated within the buildings.....(RLP 74)

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Proposals for renewable energy schemes and the integration of renewable energy generation into new developments, will be encouraged and permitted where no demonstrable harm is caused to landscape, nature conservation or historic features within or immediately adjacent to the site.....(RLP 76)

New development proposals shall clearly demonstrate the optimum use of energy conservation and incorporate energy conservation and efficiency measures, including where appropriate passive solar gain or other systems and the use of energy, in order to contribute to the reduction in their total energy consumption (RLP 77)

Paragraph 6.15 states that the Environment Agency has a policy of discouraging the culverting of water courses..... The EA will encourage developers to incorporate open watercourses within sites designed for wildlife and the retention of land as buffer strips, so as to maintain a flood channel.

## **2.4 Countryside, Nature Conservation and Landscape**

The Braintree Quality of Life Plan (June 1999) includes objectives which act as pointers to key aspects of policy in the Local Plan. These include recognising that places are different and distinctive, (relevant to landscape as well as townscape character), and valuing wildlife in town and country.

The Planning Authority will seek to encourage landowners to retain, maintain and plant, in appropriate locations, locally native trees, woodlands, grasslands and hedgerows (RLP 81)

Planning permission will not be granted for development which would have an adverse impact on badgers or species protected under various UK and European legislation or on the objectives and proposals in the National or County Biodiversity Action Plans as amended.

Where development is proposed that may have an impact on these species, the District Council will require a full ecological assessment. Where appropriate, the Planning Authority will impose conditions and/or planning obligations to facilitate the survival of individual members of the species, reduce disturbance to a minimum and provide supplementary habitats. (RLP 84)

## **2.5 Design and Heritage**

Particularly relevant to the development of this site adjacent to the historic centre of Halstead are the policies RLP 3, RLP 90 and RLP 95 of the Local Plan.

RLP 3 sets out requirements that development should seek to protect the character of the existing street scene, the setting of attractive buildings and historic interest in the locality, the landscape value of existing tree cover and to ensure that the new development does not materially detract from the character of the settlement.

RLP 95 provides for the preservation and enhancement of Conservation Areas which include requirements for adjacent development not to detract from their character and appearance.

RLP 90 sets out criteria for the layout and design of development which again refers to the need to conserve local features and reflect local distinctiveness in the scale, height and massing of buildings. This policy also stipulates that buildings and external spaces should be of a high standard of design and materials, that measures should be incorporated to ensure the maximum practical environmental sustainability and that the design and layout should promote a safe environment. The use of the most sustainable modes of transport should also be promoted.

Policy RLP 93 provides for the maintenance of land remaining in the public realm through contractual or legal agreements. In the interests of enhancement of design in the public realm, the Council will seek the promotion of

works, or building elements, in the form of public art, or local crafts (RLP 94).

## **2.6 Town Centres, Local Centres and Shopping**

The policy context for retailing, town and local centres is provided by PPG 6 (June 1996) and the Structure Plan. Objectives for the town centre of Halstead in para.9.6 of the Local Plan include protecting and enhancing its pivotal role as one of the economic, social and cultural foci of the District achieving this by maintaining and enhancing its vitality and viability whilst protecting and conserving the historic character of the town.

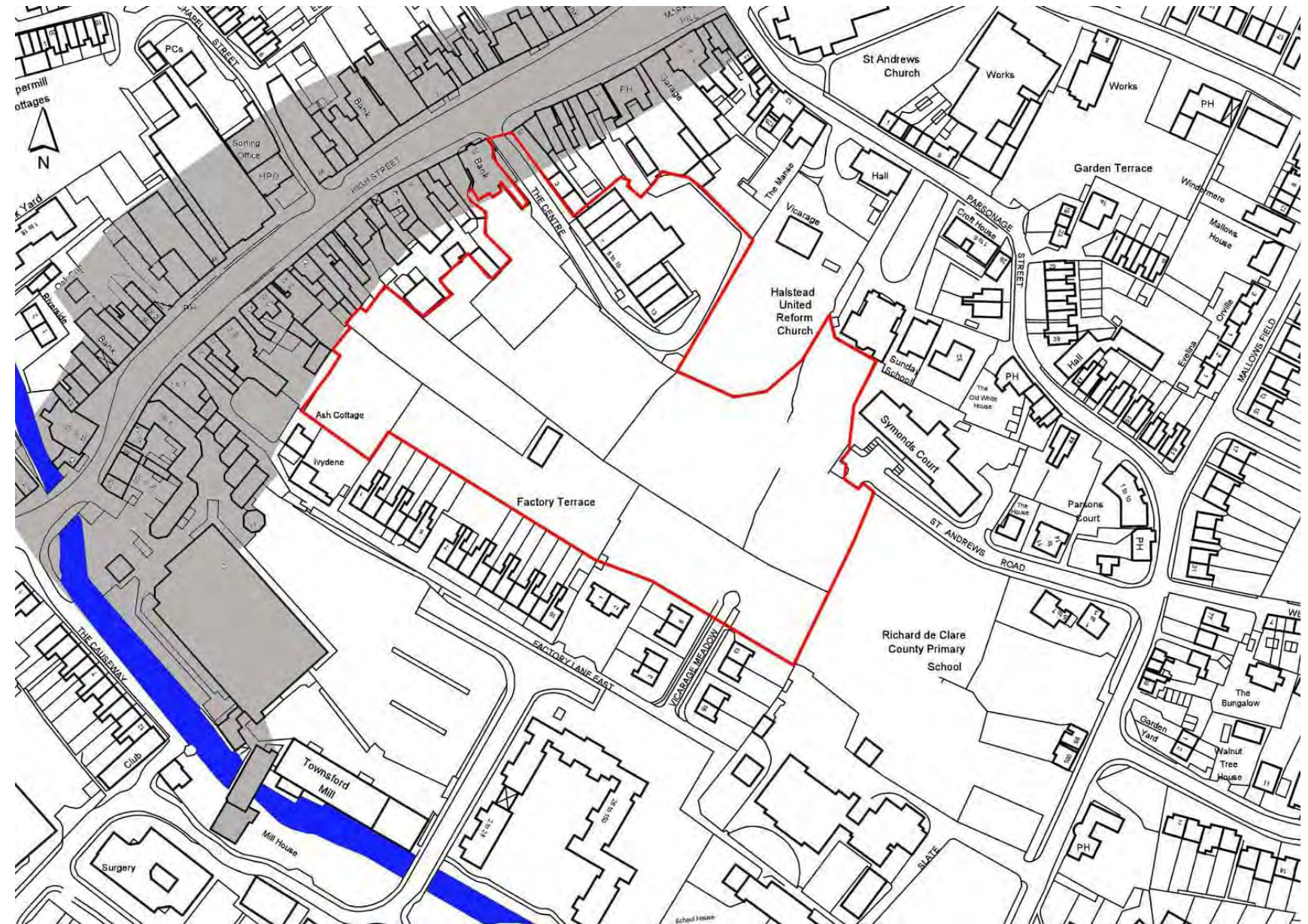
Halstead functions as a country market town, with a range of shops and services. The town centre has a relatively affluent catchment, a high quality environment and a number of interesting independent shops. However, as retailing trends have changed in the last ten years, Halstead has been left behind relative to nearby competing centres. It retains only 14% of the expenditure for non-food shopping within its catchment. Given the vacancy rate within the town centre, the limited opportunities for development and the lack of significant demand it is unlikely that this position will change over the period of the Local Plan. If demand comes forward from specific retailers then this could be met by the incremental take up of existing space. However, the historic nature of many of the units within the town centre means that it is difficult to accommodate modern retailer requirements.

In para 9.30 it is suggested that any strategy for the town centre needs to concentrate on its existing retail structure and include both the promotion of Halstead as a tourist centre based on its historic nature and its role as an antique centre, and also further environmental improvements in Bridge Street, Weavers Court, High Street, The Centre and Market Hill (RLP 122). The need for further short-stay shoppers car parking, providing a minimum of 30 spaces, is identified, with access off The Centre.



## 2.7 Sport, Recreation and Tourism

In proposals for new residential development, the District Council will require that a minimum of 10% of land should be made available for open space. This figure includes play areas and space for formal recreation. (Policy RLP 138 )



Shopping area in Local Plan shaded



## 3.0 Site Context and Appraisal

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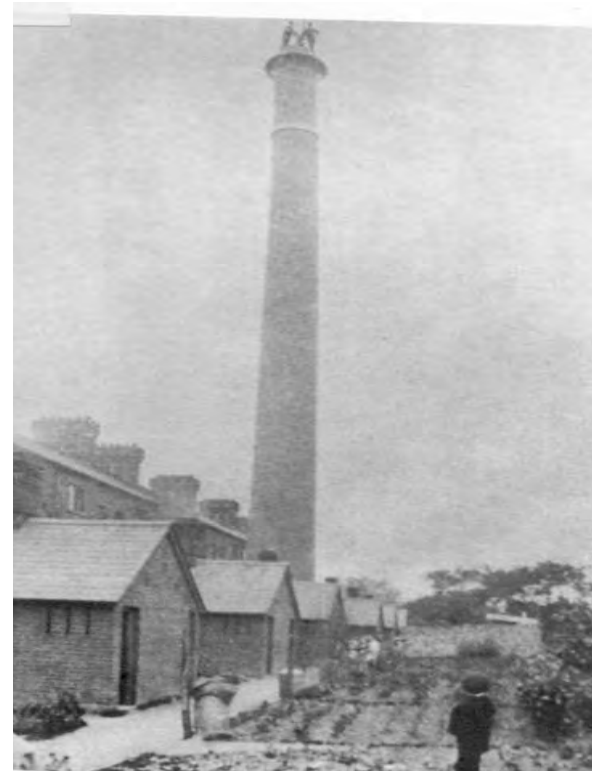
#### 3.1 Historical background

The town of Halstead developed, probably on the site of a Saxon settlement, at a crossing-place on the River Colne. It grew to be the predominant market town in the area after the granting of a right to hold a market in 1251. Now there are two buildings of 14th century origin remaining in Halstead but the listed buildings, which form the historic core, date from the 15th century onwards. Of the 102 listed buildings, one, the Church of St Andrew, is Grade 1, three are Grade 2\* and the remainder Grade 2.

Gatehouse yard, off the High Street, dates from Tudor times or perhaps even earlier. Wooden gates once hung in the covered entranceway providing access into the very extensive St Andrews Vicarage gardens which lay behind, or to an area called the Town Garden situated at the rear of the High Street. In an old photograph taken about 1900, a few of the twelve cottages in the yard are visible through the arch. In the 1880's there were at least seven yards, containing cottages, behind the High Street shops, housing nearly 200 people in 50 dwellings.

During the late eighteen century the emergence of the weaving trade had a major effect on the development of the town. Samuel Courtauld acquired Townsford mill, formerly a corn mill, for silk weaving in 1828 and in 1832 a power – loom factory was built on adjoining land. Courtaulds became the major employer playing a significant role in the town, providing housing, educational and social facilities for their employees. After switching production to rayon in the early twentieth century the factory closed in 1982 and was demolished in 1986, although the mill building and some of the workers houses, including Factory Terrace still remain. A large chimney, erected in 1904 to remove smoke from the factory boiler house, once stood in the gap between the houses of the terrace. This was demolished in 1969.

The historic core of the town is now protected as a Conservation Area with its boundary extending beyond the High Street to include Townsford mill and the remaining former Courtauld housing.



The former Courtaulds factory chimney next to Factory Terrace



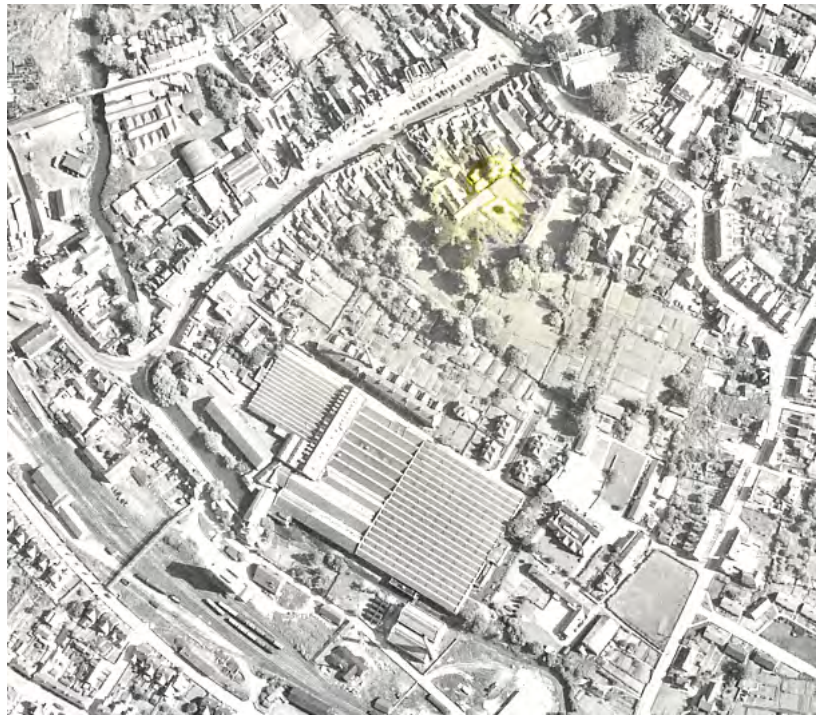
Rich diversity of architectural styles in Halstead High Street today



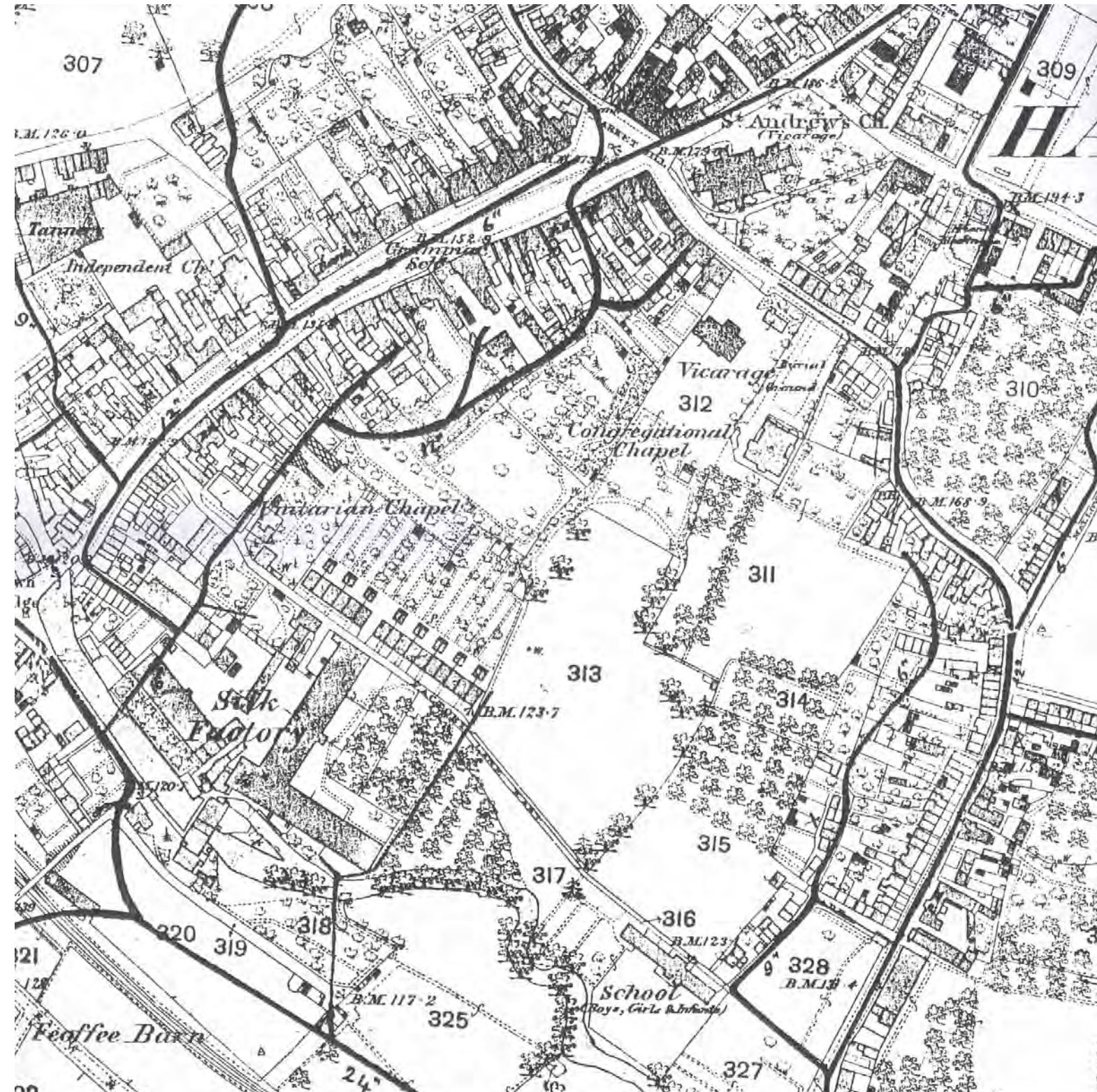
Gatehouse yard entrance in 1900 and today







Aerial photograph of the site in 1960 showing the Courtaulds factory



Plan of the site in 1897 showing the gardens orchards and meadow



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## 3.2 General description

The development site lies to the rear of properties on the south – east side of Halstead High Street on ground rising up from the River Colne. The land slopes up from the south – west to the north – east and is, apart from The Centre development, mostly a green field site having been previously used as gardens, small fields and orchards. However a number of air raid shelters occupy the south – west side of the site to the rear of Factory Terrace and Vicarage Meadow. Land to the rear of the NatWest bank is flatter than elsewhere, possibly due to terracing, and is laid out as a garden. Several trees in the vicinity are included in tree preservation order no 1/85. Allotments were previously located along the southeast edge of the site but this area together with much of the site is now overgrown. Existing hedgerows extend across the site and there are areas of trees in the west and south some of which may merit retention. More detailed information on the existing landscape and ecology are contained in the follow chapters taken from consultants' reports.

Due to the backland nature of the site views into it are restricted by the surrounding development, however along The Centre access road it is possible to look down across the site between the large trees. Views will also be possible down across the site from the former United Reform Church and also from Symonds Court when the hedge at the end of St Andrews Road is removed. It will be desirable to retain and enhance the view of the former United Reform Church, which forms a local landmark, from Vicarage Meadow.

## 3.3 Topography

Information on ground conditions is contained in the report from Robin Webb Consulting Ltd which should be read in conjunction with this report.

The site is underlain mainly by London Clay possibly with thin superficial deposits of silty or sandy clay. On the northern part of the site this is covered by sand and gravel which forms a local aquifer. Along the edge of these deposits, in part of the site, are numerous water seepages which have resulted in the saturation of ground lower down the slope south of the former United Reform Church. There is no current evidence of active landslips, but the saturated southern area, with a ground slope of seven to eight degrees, would be at particular risk. Surface seepage disappeared at the edge of the gardens to Factory Terrace.

Drainage paths are shown through the centre of the site on a plan of 1848 and rights to discharge water through water courses under the land are set out in conveyancing documents for the land. The Halstead Historic Town Assessment Report 1998 also mentions a stream running from the vicinity of St Andrews Church down to the River Colne which is now piped. No further details are given on its location. The second edition OS map shows the location of a well and some pumps at the rear of Factory Terrace and another well is located in the NatWest garden.

Our consultant advises that further work will be required to investigate the stability of the slope, study ground water levels, provide land drainage and investigate any existing land drainage systems.





Aerial photograph 2000

### 3.4 Landscape

#### Landscape Designations

Part of the site lies in a conservation area which gives protection to existing trees on this area. There are Tree Preservation Orders on a number of trees on the site although some of these trees have been removed and some appear shown in incorrect positions on the TPO plan. (See tree survey, schedule and report). The setting of listed buildings is an important consideration, and there are a large number of listed buildings neighbouring the site (see the Constraints and Opportunities Plan). Much of the land around Halstead (some of which can be seen from the site) is designated Special Landscape Area in the local plan. In the County's Heritage records there are four references in the area - 9432, 9435, 9438 and 9441 - but one of these is on the site. There are no SSSIs, County Wildlife Sites or other landscape or nature conservation designations relating to the site. Relevant policies are listed in an appendix.

#### Topography and Aspect

The site slopes down from north – east to south – west, a maximum level difference of approximately 10 metres. The slope and orientation provide a site with good potential for developing warm sheltered external spaces.

#### Soils and Drainage

Because the site lies on the northern slopes of the valley formed by the River Colne, the whole area has been subject to glacial action and extensive deposits of Boulder Clay and glacial sands and gravel deposited by melt water occur in the area.

The 1:50,000 and 1:10,560 geological maps of the area indicated London Clay outcrop on the sides of the Colne Valley, with alluvium parallel to the river. The upper slopes of the valley were underlined by a drift of glacial sands and gravels within the Colne Valley and extensive deposits of boulder clay cover the surrounding areas.

The site history indicates that the whole area has traditionally been an area of gardens, small fields and orchards. Later in the twentieth century allotments were made in some areas of the site (see south east of Area I). As the site history additionally indicates that no industrial activity has ever taken place on the site it is unlikely that the site is contaminated. The area has been cultivated for a long period of time and has adequate topsoil for green spaces in any proposed development. There is an area of small streams, and boggy ground towards the east end of the site.

(For further information on site drainage see Report on Desk Study of Prospective Development Site, Halstead, Essex by Robin Webb Consulting Ltd)

#### Views in and out of Site

The site is a special place, in the centre of the historic heart of Halstead and this is reflected in the views into and out of the site. From the north part of the site are views of St Andrews Church Tower and the former United Reform Church, both local landmarks and both listed. To the east are views over the grassed school grounds of Richard de Clare County Primary School. To the south of the site are views of the Factory Terrace buildings (listed) with views of the landscape at the edge of Halstead beyond. To the west are views of the backs of properties, many historic, along the High Street presenting an irregular roofline, and variety of historic buildings (nearly all are listed). Views out are limited by the extent of tree cover on the site. Views into the site are limited by the surrounding buildings which are mainly 2 or 3 storeys high but the amount of woodland on the site makes it visible on the skyline in views from around Halstead.

**View from the site looking towards the back of High Street properties**



**View looking south west between the houses of Factory Terrace to the position where the chimney was in 1904**



**St Andrews Church tower is visible from the north part of the site**



**The former United Reform Church is very prominent in views from the north of the site**









## Site features

The main features of the site are the trees and hedges, the air-raid shelters, the brick wartime building, small streams and banks between old terracing. There is an old well near The Centre, remnants of old ponds south of the well, remains of brick steps between areas of terracing – old garden features. These features all refer to the previous land uses of the site (see tree survey, report and history of the site).

The landmark trees referred to in the tree survey are notable features to be retained within the development.



**Brick building, possibly a radio station, constructed during the Second World War**



**Air raid shelters constructed during the Second World War, behind Factory Terrace**



**Remains of brick garden steps**

## Vegetation

In general, the site contains a few fine old garden trees, a few old fruit trees, possibly remnants of orchards. The site has been unmanaged for many years with large areas of self-seeded sycamore woodland encroaching the old garden and allotment areas. There are snowdrops, helleborus in the groundflora at the west end of the site and at the east part of the site the very wet ground conditions have encouraged the spread of horsetail. The old hedges give indications of historic boundaries. (See tree survey, report and tree schedule)

The site can be divided in three areas:

### Area I

This area is along the southern boundary of the site. Here the gardens of Factory Terrace and those of the Vicarage Meadow buildings have been (unofficially) extended into the site. There is a row of sunken, concrete air raid shelters and an associated derelict, brick-built building. All of these bunkers are covered and some hidden by overgrown vegetation.

### Area II

This area is located to the rear of the High Street properties where the vegetation is more open and the old yew trees are distinctive.

### Area III

This part of the site lies on the north-eastern side where generally the vegetation comprises of dense sycamore with boundary hedges. At the eastern end the ground is very wet with a number of small streams. The vegetation is much more open here, but there are trees and shrubs along the boundaries with the School (to the east), and with the former Chapel (to the north).

### Area IV

This lies at the northern side of the site and includes the street called 'The Centre' and a small car park. The development is unattractive and out of character with its historic context.



**Remains of garden features and terracing. Area II**

## Biodiversity

There are no formal designations covering the site however the current state of the site and its past history has allowed the development of many habitats of value to wildlife (see additional information in ECCOS survey). There is considerable potential to enhance any potential development in the area by recognising, protecting and incorporating these habitats. In this context the main reference is the Essex Biodiversity Action Plan March 1999. This includes flagship species for Braintree District to be: Black Poplar, Skylark, Speckled Wood (butterfly), Sulphur Clover, Otter, & Water Vole. Braintree District is at present producing a Biodiversity Action Plan.





**Landscape areas within the site**

**Snowdrops. Area II**



**Horse Chestnut, used for play by children, in the foreground, with a landmark lime tree behind**



**Allotments. Area II**



**Vegetation along the water courses**







1777 Map



1881 Map

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## Historic Landscape Plans



### 3.5 Buildings on the Site

The north part of the site is occupied by The Centre, built between 1955 and 1969, an unattractive building containing mainly retail use on the ground floor. This does not appear to be a good location for retail uses as, at present, although it is close to the High Street, there is no pedestrian link to other parts of the town which encourages people to pass by. Numbers 8 to 10 The Centre, previously a supermarket, are now being converted. Three commercial units, with two residential units at the rear, are to be provided on the ground floor with six residential units above. Braintree District Council will be taking a 9 year lease on two of the commercial units while the residential units will be sold on long term leases. The Centre building is located at the highest point on the site with an area for parking and servicing on the rear north – east side. This parking area is shortly to be refurbished providing a hard surface with marked spaces and a barrier at the entrance. A small amenity area is to be provided for the flats. From the parking area there are views of St Andrews Church above the old buildings along Parsonage Street.

There is a considerable change of level between the front of The Centre building and the access road which passes it and curves up to the parking area. The footpath from the High Street ramps up to the level of the building and no pavement is provided at road level on either side. Steps connect the footpath to the roadway at the southern end of the building.



**View of The Centre from the site**



**View of St Andrews Church from the Centre car park**



**The Centre from the High Street**

### 3.6 The air raid shelters

It seems probable that some of the air raid shelters at the rear of Factory Terrace were included in their curtilage when they were listed, their gardens being sold at a later date. In this case they would be protected by the listing.

The ECC military archaeologist has visited the site and provided the following description and assessment of the importance of the air raid shelters.

The World War Two air raid shelters fall into two distinct types, an underground type of which there are a surprising quantity and a single large above ground shelter.

The below ground shelters appear as long mounds of earth with a sloping entrance at one end and an escape hatch at the other. Inside they can be seen to be of a modular panel construction – rounded sections of pre – fabricated concrete, cemented together to form an arched tunnel estimated to be around 24ft long by 6ft 6 inches high. They differ from the more common ‘Stanton’ shelters which had parabolic sections bolted together to form a vaulted interior. Wartime leaflets, among them one produced by the British Reinforced Concrete Engineering Company Limited, show that a number of companies manufactured air raid shelters similar to the Halstead design.

The shelters are sited in two off – set rows. On an aerial photograph taken in 1960 it is possible to make out thirteen in total although trees obscure the site and make an accurate count at that time impossible. A survey plan of the site dated 1987 (provided by Braintree District Council) shows fifteen surviving. It is not known how many now remain as the area is difficult to access through the many trees, bushes and brambles but it is possible that all fifteen still survive.

The large, brick built surface shelter is rectangular in plan, with a doorway entrance at each end. Inside there are two open rooms and two adjacent doorways which probably lead to toilet cubicles. This type of shelter would have been

designed to accommodate a large number of people, very many more than the below – ground type. It is difficult to estimate how many people in total could have been accommodated in all the shelters on the site, perhaps around 400 / 500. It is clear that they must have been constructed to hold the Courtaulds employees in the event of an air attack. These would have come from both the factory and the company tenements (Factory Terrace).

It has been found that this concentration is very rare in Essex and it is possible that this is the largest surviving group in the County. At the time of compiling this report, six have been recorded at Colchester Garrison and nine at Shoeburyness Old Ranges. At both sites recommendations have been made that they be protected through the planning process.

The Halstead shelters are of a type not, so far, recorded by the World War Two Defences in Essex project although they were probably once common, similar types being made by a number of companies. It is not known whether others survive elsewhere. Similarly, large surface shelters may now be rare. No others of this size have so far been recorded in the County. Although it is probable that a few others do survive they can number no more than a handful.

In summary, if fifteen (or anything close to it) underground air raid shelters still survive they, together with the surface shelter, will probably constitute the most comprehensive group of air raid shelters in Essex. In addition, not only is the whole group in one concentrated area, there are two types – the above and below ground models. The majority of these, below ground are of a type not previously recorded in the County but were probably a standard design produced and sold commercially.

On the criteria of rarity, typicality, group value and condition every effort should be made, initially through the planning process and ultimately as Scheduled Monuments, to ensure their continued survival.



**The underground shelters**



**The above ground structure**



## 3.7 Ecology

### General Introduction

Essex Ecology Services Ltd. (EECOS), the survey and advisory company of the Essex Wildlife Trust, has prepared this report on behalf of Essex County Council for Braintree District Council. It comprises an initial assessment of ecological issues affecting the possible redevelopment of the site.

### Survey Methodology

The site was visited on 22<sup>nd</sup> January 2004, when as much as possible of the site was searched in detail. Significant habitats, species or other features of ecological interest were noted and mapped. Particular attention was paid to the presence or possible presence of protected species on the site. A full survey of Badger activity was completed. The site was revisited on 4<sup>th</sup> February 2004, once access rights had been established, for an inspection of the bunkers and other buildings.

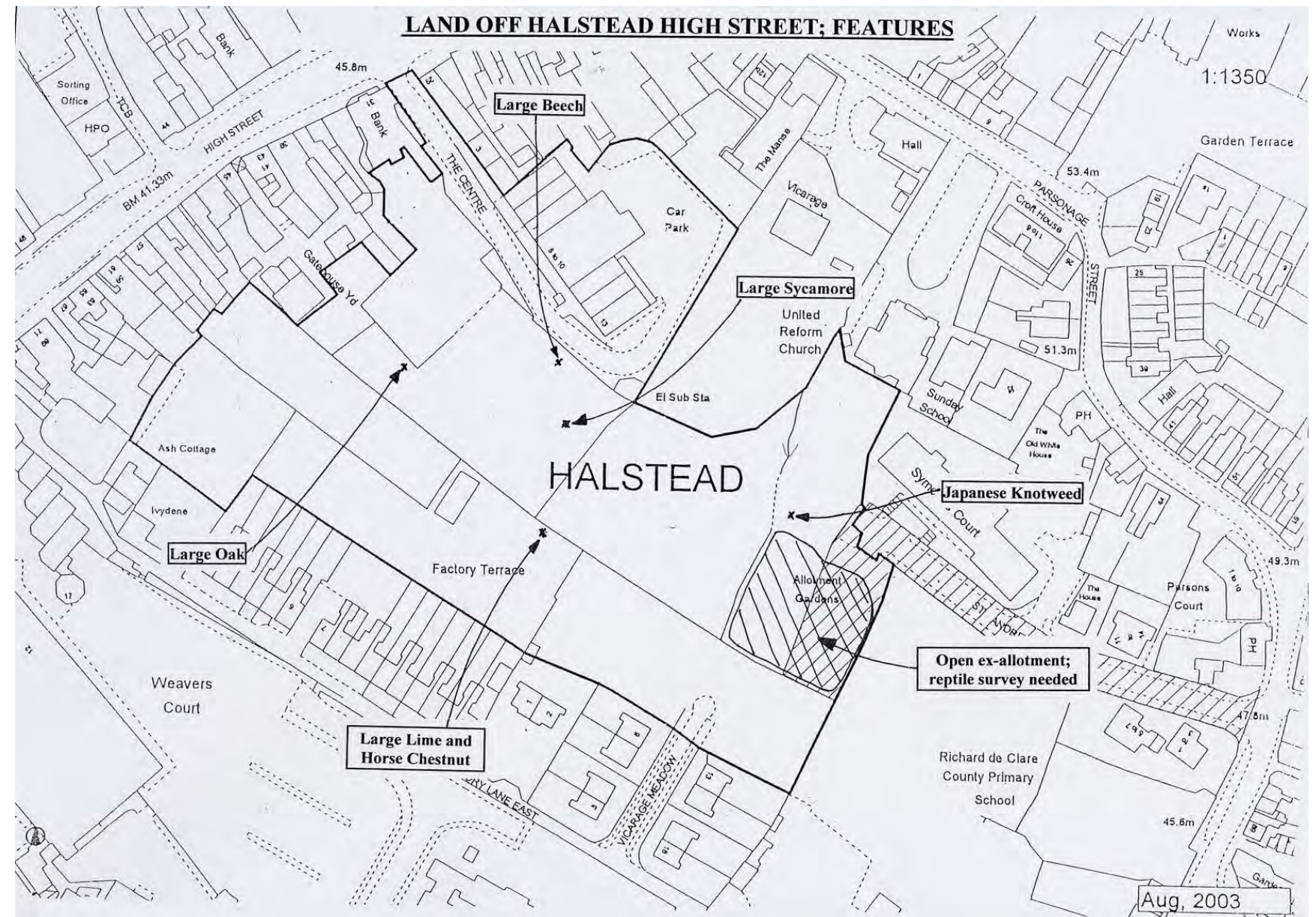
### The Results

#### Badgers

No evidence of any Badger activity could be found on the site and there is certainly no sett present. There were patches of wet mud at various places around the site and these were searched for footprints. No Badger prints could be found although Muntjac slots were abundant throughout and cat prints were located in several areas at the rear of the gardens on Factory Terrace. There are no sett records for this area on our database.

#### Great Crested Newts

No bodies of standing water capable of supporting Great Crested Newts were located within the site boundary or on adjacent land. A desk search for records in the area revealed that no known breeding ponds are located in the vicinity.





## Reptiles

The majority of the site is too shaded to support populations of reptiles. The exception is part of the former allotments at the eastern end of the site, which is more open, albeit rather wet. Allotments are well known for supporting Slow Worms and any damp habitat can be used by Grass Snakes. No records of reptiles exist for this part of Halstead.

## Bats

The site is likely to be frequently used by foraging bats as it offers a mixture of wooded, scrub and open habitats with the likelihood of abundant flying insects. There were no visible signs of any roosts within the site boundaries, although there are a number of very large trees that are likely to have features that could be used as temporary roosts – i.e. damaged limbs, cavities, loose bark etc. Of the large trees a Sycamore, Horse Chestnut and an Oak all had obvious features of this kind.

The air raid bunkers appeared to provide conditions suitable for winter roosts, although their partially derelict condition, and obvious disturbance from adjoining residents make their use unlikely at present. As many as possible were searched with no signs of occupancy by bats. The ones that were not searched are either sealed, swamped in bramble and other scrub, or were not accessible from the main part of the site. Inside the bunkers there are no recesses, nooks or crannies, which bats generally prefer to occupy during their winter torpor, but the temperature and humidity may well be appropriate. With limited improvement work, these bunkers could make a valuable contribution to bat conservation on a county or even national level; currently there are only two known hibernacula in Essex.

The brick building is less suitable, as it is drafty, damp and also subject to human disturbance. In both this building and the bunkers a number of hibernating butterflies and moths were seen.

The buildings of the shopping arcade also have a potential to be used by bats. Flat roofs can be accessed through gaps behind the bargeboards, and are especially favoured by pipistrelles. As would be expected at this time of year, no signs of occupancy could be found.

## Birds

A variety of bird species was seen and heard during the visit including Great Spotted Woodpecker, Treecreeper and Song Thrush. The latter appears on the RSPB's Red List of Birds of Conservation Concern because of its rapid population decline over the last 30 or more years, although it is still widespread in Essex, particularly in urban habitats.

It is likely that the site supports reasonable populations of a range of common species, but none of greater than local significance.

## General Habitat

Much of the site appears to have been used as allotments at various times, in parts until fairly recently it appears. The exception to this is the block of land to the south of The Centre, which appears to be the remnant of a formal garden, with a flight of steps and a concentration of large trees. Apart from these very large trees, much of the site has been, or is being, colonised by Sycamore, probably seeded from the very large tree of this species in the above mentioned block.

The main characteristic of the eastern half of the site is its wetness. The land drains from the north, partially through channels dug to drain the allotments and partly by general seepage on or about the surface. At the eastern end, which is the least wooded, the vegetation is dominated by Giant Horsetail with underlying rough grass and ruderal "weeds" such as Nettles and Goosegrass. To the north and west of this open area Bramble scrub and young Sycamores are more prevalent with occasional fruit trees as relicts of cultivation. A small stand of Japanese Knotweed is starting to grow in this area.

The drier areas, at the top of slope in the northern parts of the site and in the western half, are also being invaded by Sycamore and have a ground layer of Ivy, generally with Nettles and Elder. Snowdrops, of garden origin, are locally abundant in these areas and there are a number of coppiced Hazel stools throughout the site.

Hedgerows at the eastern end of the site contain an average variety of species, including Elm, Hawthorn, Hazel and Sycamore.

## Conclusions

### Protected Species

No further survey work or mitigation will be necessary in relation to Badgers or Great Crested Newts.

### Reptiles

There is a chance that there are reptiles present on the site and so a survey would be recommended. All Essex reptiles are protected under the Wildlife and Countryside Act 1981 (as amended) such that it is an offence to intentionally or recklessly kill or injure them. If any reptiles are shown to be present, they should be a material consideration in any planning decision affecting the site. Should planning permission be granted, reasonable care will have to be taken to protect them during any development work.

### Bats

The situation with bats is rather more complicated. Although no roost was located, there are several features that are obvious candidates, not least the buildings of The Centre. If the buildings are to be demolished or substantially altered, they will have to be surveyed to determine the presence or absence of bats.



The buildings can be surveyed by looking for signs of access such as droppings, urine stains and other stains on the walls by the bargeboards. These signs are eroded away during the winter and so can only be surveyed during the period when bats are present, likely to be between late April and August. If any access points are located, they will need to be watched on three evenings during June to determine the species and population sizes involved. This information would be required as part of any licence application to disturb or damage the roost, should planning permission be granted.

Any of the larger trees that are to be removed as part of the plans for the site should also be subject to emergence surveys before they are felled. Some of these larger trees (an Oak, a Horse Chestnut, and a Sycamore) have obvious features that may be used by bats, but it is virtually impossible to tell from the ground whether or not they are being used. If any bats are using the trees, they too could only be worked on or removed under a licence from DEFRA.

No further action is required in relation to the air raid shelters as there is no evidence to suggest that they are being used at present.

### **Birds**

Nesting birds are perhaps most certain to require consideration in terms of their legal protection. All birds' nests are protected by law under the Wildlife and Countryside Act 1981 (as amended) such that it is an offence to damage or destroy them. There is abundant nesting habitat throughout the site that could only be cleared outside of the breeding season (i.e. between September and the end of February).

If any clearance of potential nesting habitat is necessary during the breeding season, a thorough search for nests would have to be made by a qualified ecologist before work started. If any nests were found they would have to be left undamaged until the brood had flown.

### **General Habitat**

Due to its clearly managed recent history, it is unlikely that there are any botanical features of the site that are intrinsically of value. However the existence of an area of semi-natural habitat like this within an otherwise urban area has an undoubted value to local biodiversity. Habitat such as this provides a sanctuary from which species will disperse at various times of the year to the surrounding gardens. As such its importance is purely on a local level and it would be unlikely, for instance, to match the criteria for the selection of County Wildlife Sites.

A reasonably small quantity of Japanese Knotweed was located during the survey. This is a non-native, tall growing and very invasive species that forms dense single species stands if allowed to become established. This plant is classed as "controlled waste" under the Environmental Protection Act 1990 and there is therefore a legal requirement to dispose of any material from the plants in a responsible way. The plant can re-grow from small fragments of stem or root and this precludes disposal by landfill. Any contractor working on the site must be made fully aware of the presence of this species and their responsibilities regarding it.

The additional survey work originally suggested – habitat and invertebrate surveys – while of interest in assessing the ecology of the site is unlikely to have direct impact on any planning decisions.

### **Recommendations**

The following survey work is considered essential for legal reasons:

Reptile survey of the easternmost, open section. Seven visits to check artificial refuges/basking sites in appropriate weather conditions (March to May).

Bat survey of The Centre if it is to be affected by development plans. Initial assessment, late May with follow up emergence counts in June if there is any sign of occupancy.

Bat survey of any of the large trees to be removed, immediately before work.

The next surveys will give a fuller assessment of the ecology of the site, but are not legally required:

Breeding bird survey. Four early morning visits during April and May.

General habitat survey. Two visits in May and June.

Invertebrate survey. Five visits from May onwards according to the schedule of development.

Assuming that the site will be developed, there are a number of measures that could be taken to retain some ecological value on the site and to mitigate for the overall loss of habitat.

As many of the large trees as possible should be retained; some of these are probably subject to Tree Preservation Orders in any case. Strong protection measures should be put in place to ensure that there is no accidental machine damage to the trunks or main roots of these trees. This is possibly the single action that would do most to conserve local biodiversity. Along with this, as many of the hedgerows with native species as possible should be retained.

Another positive action for conservation, and one that could contribute to national and local Biodiversity Action Plan targets, would be to retain as many of the air raid bunkers as possible and make them more suitable for use by bats. To do this access would have to be improved and secured to prevent disturbance, a small area around the bunkers would need to be managed to encourage bats and create flight access routes and the interiors would need improvement to provide more crevices that the bats could squeeze into. Similar bunkers at the Marks Hall estate have been altered in this way and now hold nationally significant winter roosts of Natterer's and Brown Long-eared Bats.

### **Additional Survey Work**

The survey work recommended above has been completed and the results are contained in Appendix 6.

### 3.8 Adjacent land use

Most of the properties backing onto north – west boundary of the site are listed and form a continuous frontage to the High Street. They now have retail or commercial uses on the ground floor which are serviced from the front. There are two small parking yards serving the buildings at the rear which are accessed by narrow openings from the High Street. One of these, Gatehouse Yard, has a carriage arch and gives access to a residential property and also parking for the NatWest bank. The other yard is accessed between 67 and 69/71 High Street. The yards are adjacent to the development site boundaries.

The south -west boundary of the site runs along the rear gardens of the three storey Factory Terrace, listed Grade 2, and built in 1872 as housing for Courtaulds mechanics and overseers. Factory Terrace faces south – west onto Factory Lane East which is at a higher level than the adjacent car park and supermarket built on the former factory site. Vicarage Meadow provides access to eight semi – detached houses.

The south – east boundary of the site abuts land owned by Essex County Council and occupied by Richard de Clare county primary school.

To the north – west St Andrews Road provides access to Symonds Court, a residential home for elderly people, as well as other two storey residential buildings ending in a cul –de – sac at the site boundary.

The listed former United Reform Church built in 1862 has been converted to residential use along with the adjacent former Sunday school. The building occupies an elevated position on the north – east boundary within the Conservation Area.

The boundary then runs around the rear gardens of the St Andrews Church Vicarage and other listed properties fronting onto Parsonage Street. The Vicarage garden contains several trees with Tree Preservation Orders on them.

North of The Centre the site boundary follows the rear of properties facing onto Market Hill and Parsonage Street.

These properties are within the Conservation Area and are listed.



**Halstead High Street**



**Factory Terrace**



**Former United Reform Church**



### 3.9 Site Access

The principal vehicular access to the site is from St Andrews Road, owned by Braintree District Council.

It may be possible to provide another vehicular access from the High Street via the road serving The Centre, which is adopted highway. The road slopes down from the High Street to a low point opposite the steps to The Centre, before ramping up to the rear car park and service area. There is a change of level of about one metre between the existing roadway and the NatWest garden at the lowest point. This road could provide access to a new shoppers car park. However it is possible that the narrow verge between the road and the NatWest gardens is not adopted and could form a ransom strip. Further investigation is required on its ownership. There are some parking spaces along one side of the roadway.

Factory Lane East is an adopted historical highway providing pedestrian and vehicular access from the High Street to residential properties including Factory Terrace and is used by residents of the terrace for parking. Beyond Vicarage Meadow, Factory Lane East narrows down to a footpath giving access to the school and beyond to Parsonage Street. From Factory Lane East rights of way exist along the path between 6 and 7 Factory Terrace to land forming part of the site 'at all times and for all purposes' subject to shared maintenance costs. This would probably be only wide enough for pedestrians and cyclists.

Vicarage Meadow is a privately owned cul – de – sac running from Factory Lane East to the development site. Residents appear to be clearing an area on the site at the end of the road for parking. Rights of way exist along Vicarage Meadow to land forming part of the site 'at all times and for all purposes' subject to shared maintenance costs.



Access road to The Centre



Factory Lane East



End of Vicarage Meadow



Path between 6 & 7 Factory Terrace

### 3.10 Land Ownership

The development site is under the ownership of several different parties as shown on page 23. The names and addresses are listed in Appendix 4

There are several charges on different parts of the land now owned by the Salvation Army Housing Association. In addition to the right of the adjoining Vicarage to the 'uninterrupted passage and running of water through the water courses which now exist under the land' established in 1920, further conditions were set up in 1987 on the part of the site adjacent to the Vicarage garden providing more controls over its development. These include restricting the use of buildings to residential, restricting the height of buildings to not more than three storeys and excluding the building of 'a place of amusement, hotel, tavern, inn or public house'. There may be some discrepancy between the present fence line and the boundary shown on land registry title where the site abuts the Vicarage garden. A right of way exists between numbers 6 and 7 Factory Terrace to land at the rear. There is also a right of way along Vicarage Meadow to access the adjacent part of the site.

One of the other major landowners is NatWest bank. The land extends from the rear of the bank building at 31 High Street southwards along the boundary with Gatehouse Yard and eastwards to a boundary in line with the electrical substation adjacent to The Centre access road. Correspondence from Holmes & Hills solicitors to Braintree District Council dated 26<sup>th</sup> February 1990 states that it was impossible to establish the ownership of Gatehouse Yard.

Most of The Centre freehold is owned by Spurdawn Investments Ltd but freehold of parts of the building are owned by Christopher & Wendy Bowes and also Peter Anson. The part owned by Peter Anson has a leasehold title on the first floor, ground floor entrance and stairs in the name of Maurice & Juile Lake.

In the part owned by Bowes the titles to the ground floor of numbers 5 and 7 are excluded and it is not known who owns them. Possibly it is Quirelynn Ltd the vendor in the sale to Bowes. The ground floor of no 4 is also excluded from Spurdawn Investments title and the owner is unknown. There are some anomalies in land ownership of the verge on the south side of the adopted road which will require further investigation.

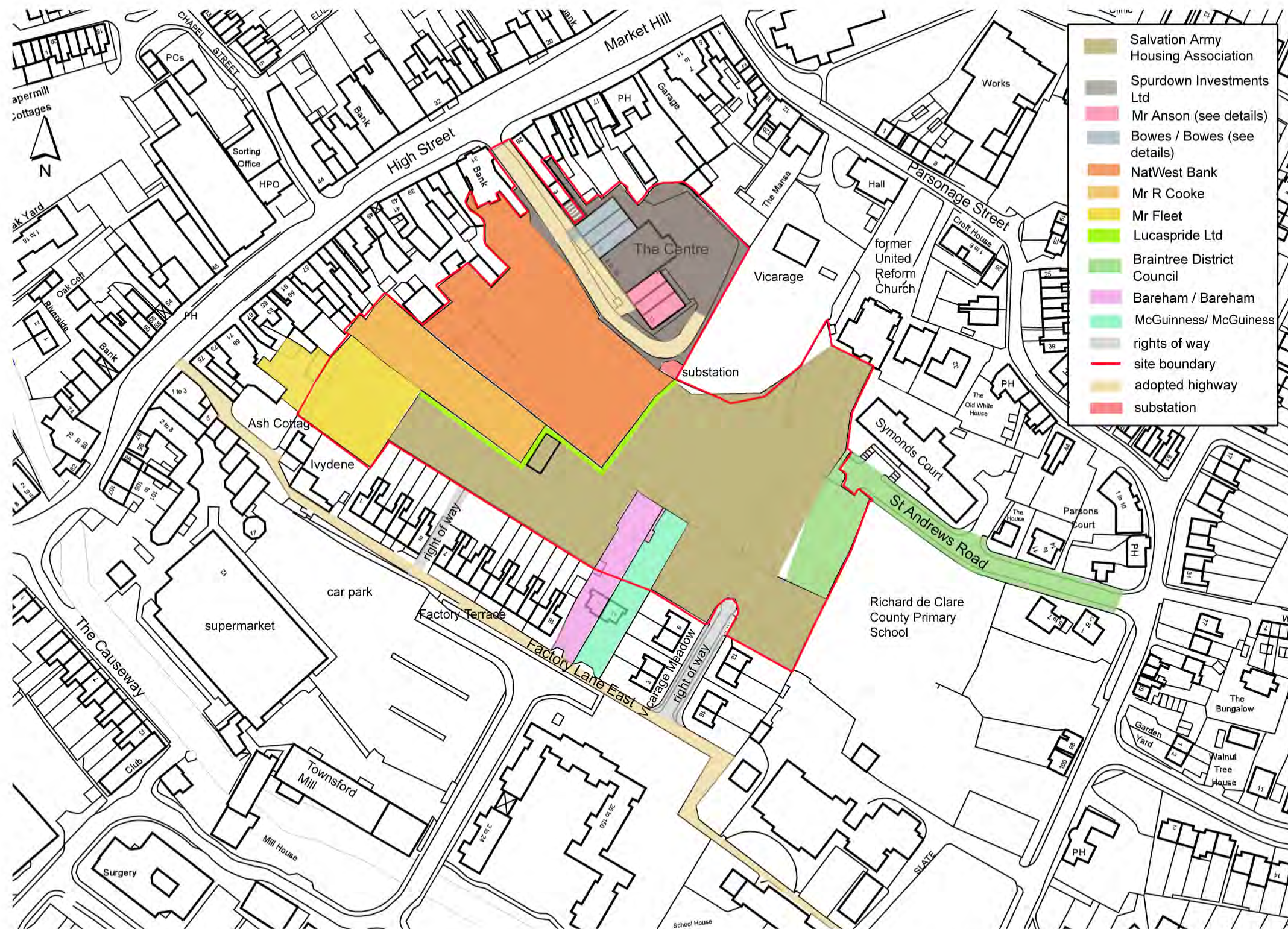
Braintree District Council own the land formerly used for allotments adjacent to the school boundary and also St Andrews Road

Other land is owned by private individuals. A narrow strip of land across the centre of the site has been retained in the ownership of Lucaspride Ltd possibly as a ransom strip.

It should be noted that land which is part of the gardens of numbers 1 and 2 Vicarage Meadow has been included within the site boundary. The owners of these properties have objected to the proposals (see public consultation appendix 7 Committee Report 21<sup>st</sup> December appendix) and any developer would need to discuss ownership with them at an early stage in formulating any proposals.

The houses of Factory Terrace are now individually owned mainly by the occupiers.





Halstead - Land Ownership



### 3.11 Constraints and Opportunities

A major consideration in the development of the site is its close proximity to the historic core of Halstead with its many listed buildings fronting onto the High Street. The Conservation Area boundary extends beyond the rear of these properties and the rear of Factory Terrace to include part of the development site. The design of the buildings on the site must be in keeping with the scale of the historic buildings and the character of the Conservation Area. If pedestrian and cycle links are established between historic buildings on the High Street views through into the development will be important. Visible new buildings should be kept to two storeys so that they are diminished in importance to those in the High Street.

There are several trees, some of which have TPO s on them, which should be retained. The mature trees, particularly those in the NatWest garden, contribute to the townscape in Halstead. The trees will restrict the area of the site available for development and may put constraints on the car park access from The Centre.

The slope of the site may dictate the road layout which can be achieved with an acceptable gradient. Any road access to a car park from at The Centre into the NatWest garden will have to take into account the change of level along the present boundary. The buildings will need to be at different levels to follow the slope of the site. The design of the buildings will have to take into account any risks associated with the stability of the slope.

The south facing aspect of the site may provide the opportunity for sustainable energy use.

The presence of water on the site and the need to provide land drainage may provide the opportunity to incorporate surface water features providing natural habitat within the landscape design.

Deep sources of water underground must be protected against pollution. This must be taken into account should any pile foundations be required. Any wells on the site will need to be secured.

It will be important to provide a network of pedestrian and cycle links from the High Street through the site to St Andrews Road, to the school and to Factory Lane East. The opportunity exists to provide these links, without destroying the High Street frontage, by making use of the existing yard access points. These occur adjacent to the White Hart public house at 15 High Street, between numbers 43 and 45 and also between 67 and 69 High Street. Pedestrian and cycle links could also make use of the existing rights of way to Factory Lane East. The possible routes shown on the plan would not necessarily all be required and owners have not yet been contacted to see whether they would agree to permissive routes across their land.

The possible need to retain the air raid shelters with their substantial underground structures, will be a material consideration in the development of the site. Developers must satisfy themselves that all requirements have been met in consultation with English Heritage.

The opportunity exists to provide a 30 space shoppers car park with access from the High Street via The Centre. However it may not be possible to retain the existing parking on the roadway due to the increase in two-way traffic with a loss of approximately eight spaces.

The opportunity also exists to consider the provision of some shared rear service access to the existing retail and business premises fronting the High Street.

The Highway Authority does not wish to see The Centre and St Andrews Road linked as a through route for traffic.

There has been some encroachment onto the site by owners of properties in Factory Terrace and the length of time that this has been occurring will determine whether they have established any easements over the land.

The opportunity may exist for providing off street parking for the residents of Factory Terrace and Vicarage Meadow.

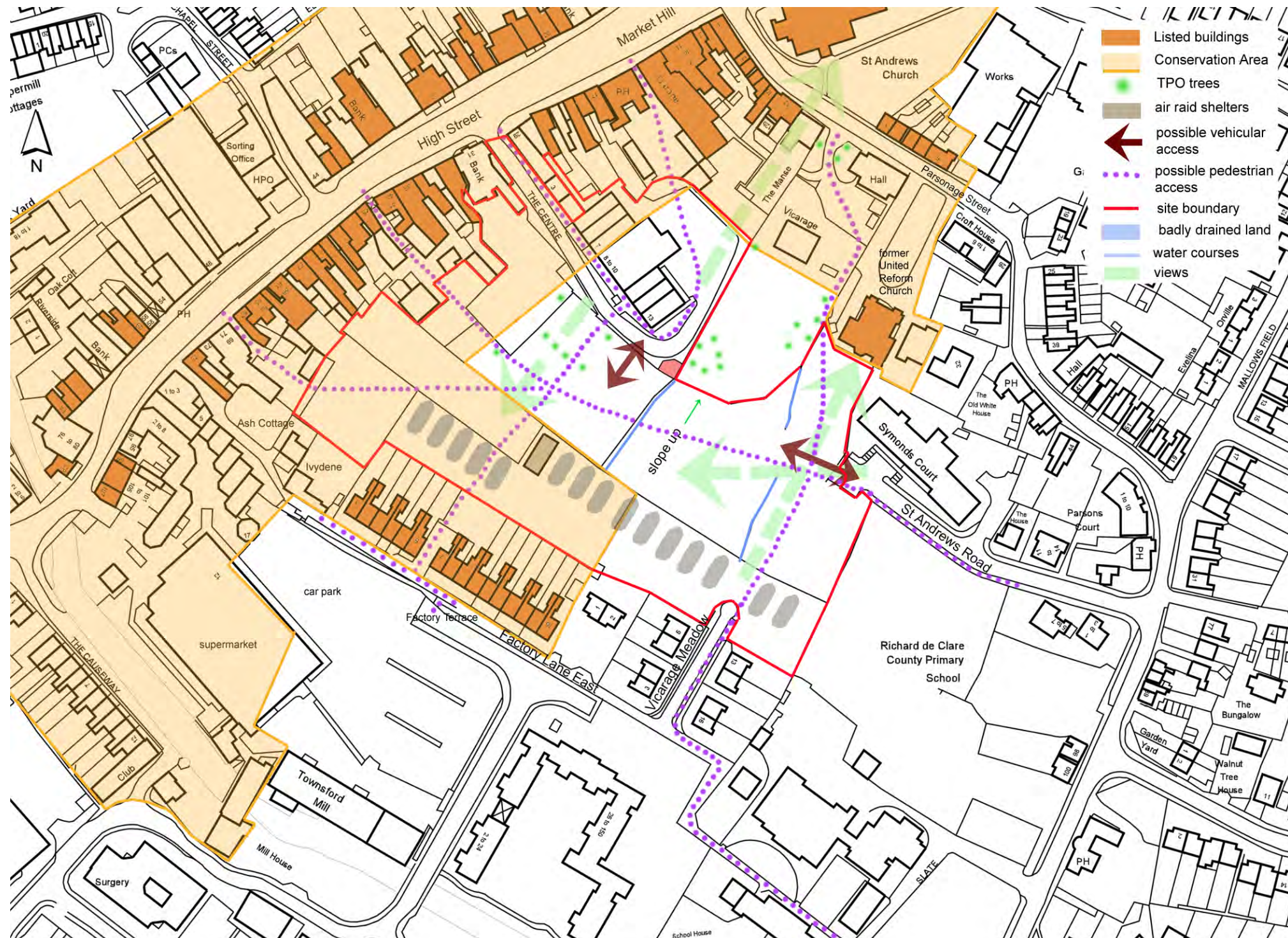
Redevelopment of The Centre may be hindered, at least in the medium term, by the conversion to residential use with long-term leasehold, which is being undertaken in part of the building.

The building is now under several ownerships and leaseholds.

The charges in the conveyances already mentioned, on some parts of the site, place limitations on development.

The difficulties of assembling the land under various ownerships will provide a constraint against development particularly with regard to the potential ransom strips across the centre of the site and between the roadway to The Centre and the NatWest garden.





## Halstead - Constraints & Opportunities



## 4.0 Development Principles

### 4.1 Mixed Use Development

From local consultation it appears that there is a need in Halstead for purpose built office accommodation for small businesses. It is therefore proposed that some mixed use can be accommodated in the area of the site closest to the High Street with some live/work units and some small scale commercial units provided. Some flexibility is retained over the mix of uses depending on market conditions at the time of development. However it is envisaged that large-scale office or retail uses would be inappropriate due to the access and the scale of the historic environment. A 30 space shoppers car park is required as identified in the Local Plan policy with easy pedestrian access to the High Street.

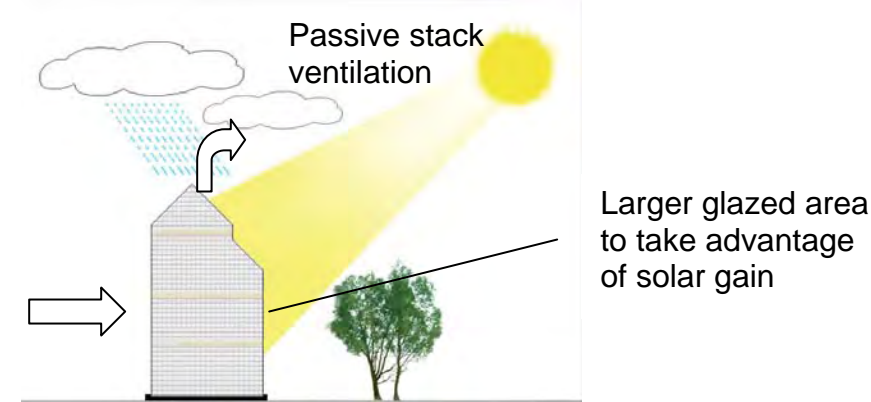
The remainder of the site will be used for residential development. There is a potential need for up to 35 sheltered housing units to replace existing sub-standard accommodation for the elderly. This would augment the existing accommodation for the elderly in Symonds House adjacent to the site at the end of St Andrews Road. It could be located near Symonds House, if required, but would be better located further to the west where level access would be available to the High Street. Other housing should be targeted at all age groups within the community including young people.

The existing retail, office and residential uses will remain within The Centre building.

### 4.2 Sustainability

A lifecycle approach, addressing environmental concerns that cover the anticipated lifespan of the development, will be expected from the developer. This should relate to design and construction, long term performance, and local context. Long term environmental performance should be assessed in relation to energy, transport, pollution, materials, water, waste and recycling, ecology and land use, and health and well – being. The criteria, which are particularly relevant to sustainable development in Essex, are water efficiency, energy efficiency, recycling and waste management.

As Essex is dependent on importing over 50% of its water needs from outside the County, new development needs to incorporate water efficient appliances and technology, such as that to collect rainwater and recycle grey water. To achieve improvements in energy efficiency, development will be required to meet British Research Establishment Standards Ecohomes (very good) for housing and BREEAM (very good) for offices, industrial or retail as a minimum standard. To encourage the recycling of domestic waste to meet the Essex target of 60%, internal and external storage space for recyclable materials should be allocated within the housing development. Provision should also be made for the storage and collection of recyclables from the commercial units. During the construction stage of the development, waste produced should be recycled at a rate of over 60% for plastics, timber and metal. All construction solid waste should be re-processed as aggregate on site and where possible used at source. Local and recycled materials should be used in construction where appropriate.



The orientation and topography of the Halstead site is conducive to aligning blocks of development facing south – west and north – east so that the opportunity should be taken to harness solar gain using renewable energy technologies with a very high standard of performance for the building envelope.

This section gives an overview of the sustainability issues but they underlie many of the other criteria laid down in the various sections of the brief.

### 4.3 Pedestrian and cycle links

The development proposals for this site, adjacent to the High Street, should provide for good permeability through it, connecting the town centre with adjacent existing development and with Richard de Clare primary school. By establishing direct safe pedestrian / cycle routes connecting into the existing network, it is intended to promote sustainable transport options for short local journeys and travel to school.

The proposed layout for the site makes use of the opportunity identified for the establishment of a principal pedestrian / cycle link from the High Street through Gatehouse Yard and across the site to St Andrews Road. Gatehouse Yard lies outside the curtilage of the site and its ownership is not registered with the Land Registry. Several High Street properties have rights of way over the Yard but the ownership of the land seems to be unknown. This is confirmed by correspondence on file at the time of the previous planning application for the site. It would be very advantageous for the development of the site if this link through Gatehouse Yard to the High Street can be secured under Section 228 of the Highways Act. As well as providing the permeability mentioned above, it would provide level access from the proposed shoppers' car park for the disabled, as well as a close connection to the shopping area for any proposed commercial development. ECC Highways have commissioned a safety audit for using Gatehouse Yard as a pedestrian/cyclist link. Any safety conditions required as a consequence of the audit must be compiled with.

Another pedestrian / cycle route is proposed from Factory Lane East, making use of the existing right of way through the gap in Factory Terrace, northwards to The Centre. It may be necessary to regrade this existing access way which is not part of the site, to achieve a gradient of 1 in 20 which it should be possible to then continue while retaining existing trees nos 32, 36 and 37. A ramp may be necessary north of tree no 37 to connect with the new access road depending on the level at which the latter is constructed. The proposed public open space north of the road must be





**Gatehouse Yard – access to the High Street**

kept at present levels due to the retained trees, therefore steps may be needed up from the roadway but set back from the kerbline. New steps will also be needed up to the existing access road in front of the Centre, positioned opposite the present steps up to the existing footway. A ramped access will not be possible within the public open space if damage to the nearby beech tree is to be avoided, so cyclists would have to follow the new access road up to the Centre. The enhancement or reconstruction of the existing footpath and steps at The Centre will be required with possibly a ramp for disabled access at the southern corner of the building.

A further pedestrian link, from the west corner of the site to an existing access into the High Street, may be possible. A developer should investigate whether adjacent land, owned by M Fleet, could be included as part of the development site in order to secure this link, in which case a safety audit would be necessary.

On the eastern side of the site another pedestrian route is proposed up the steeply rising ground connecting Vicarage Meadow to the new access from St Andrews Road. Although Vicarage Meadow is a private road there is an existing right of way for access to the site. The natural gradient of the hill is about 1 in 9 so the footpath would need to follow a meandering course to reduce its gradient. There could be a possibility of continuing the route up to the former United Reform Church and, subject to negotiation with the

landowner, through the vicarage garden to the church hall and Parsonage Street.

A pedestrian / cycle link will be required between both access roads into the development.

#### **4.4 Vehicular access**

To ascertain the impact of development of this site on the highway network a traffic impact assessment will be required prior to any planning application. In consideration of the proposals with ECC Highways (without the benefit of the traffic assessment) it was considered that an option to minimise the impact of additional traffic on both the High Street and Parsonage Street, which are already very busy at peak times, access to the development should be divided between the two vehicular routes - access provided from the High Street, via The Centre access road, and from St Andrews Road. There will be no vehicular link between these two roads nor into Gatehouse Yard. In addition to a traffic impact assessment a full investigation of the servicing needs of the business premises in the High Street should be carried out. Development proposals should maximise opportunities to provide rear servicing for adjoining High Street shops and businesses, provided that the concepts in the brief are not compromised. Consideration should be given to sharing such facilities with the new commercial and live/work development.

Limited visibility is available at the junction of The Centre road and the High Street so additional use would necessitate improvements to the sight lines on either side. A restriction notice should prevent inappropriate vehicles from entering the Centre Road. It is proposed that this road provides access to the new shoppers' car park as well as to new development in the south – west area of the site where there could be mixed use. The existing road will be modified to provide continuity with the new road. The access to the existing private car park at The Centre will then be via a junction with a dropped kerb. The possibility of providing future vehicular access to the Vicarage garden should be maintained.

From the existing electrical sub-station, the new road ramps down approximately three metres into the site avoiding the group of existing trees and particularly giving the beech tree a wide clearance. The gradient should be no more than 1 in 12.5 but a gradient of 1 in 20 may be achievable depending on more detailed survey information. This road should be a type 3 access road 5.5m wide with a 1.8m wide footway on one side. There should be a 0.5m wide verge on the side adjacent to the garden. The road ends in a size 3 turning head which gives access to the shoppers car park. A covered accessway through the live-work units is provided to the development and parking areas in the south - west part of the site. A minimum headroom and width of 3.7m should be provided for access by fire tenders. The road will have a shared surface with a dropped kerb at the junction with the main access road and it will terminate in a size 3 turning head. There could be some demand for rear servicing to High Street properties from the commercial area and any planning application should investigate these needs and, as far as practical, incorporate shared service facilities. See references to this in the Appendix 7 Committee Meeting reports and minutes.

St Andrews Road will need to be upgraded if necessary to enable it to be adopted. The sight lines at the junction of St Andrews Road with Parsonage Street are limited and could not easily be improved. This limits the level of development that can be accessed from St Andrews Road. Traffic management measures will be required on Parsonage Street including the replacement of the existing measures outside Richard de Clare primary school. The road into the site from St Andrews Road will be a type 4 access road to the new square accommodating the existing lime tree, where it will terminate in a size 3 turning head. The road should be 4.8 m wide with two 1.5 m footways and with a maximum gradient of 1 in 12.5. Some traffic calming may be required. From the turning head at the end of this road a Mews Court with a shared surface gives access to a maximum of twelve houses. A sight line distance of 33m will be required at the junction. The layout of the new roads on the site should comply with The Essex Design Guide.



## 4.5 Landscape Proposals

The objectives for the landscape proposals are:

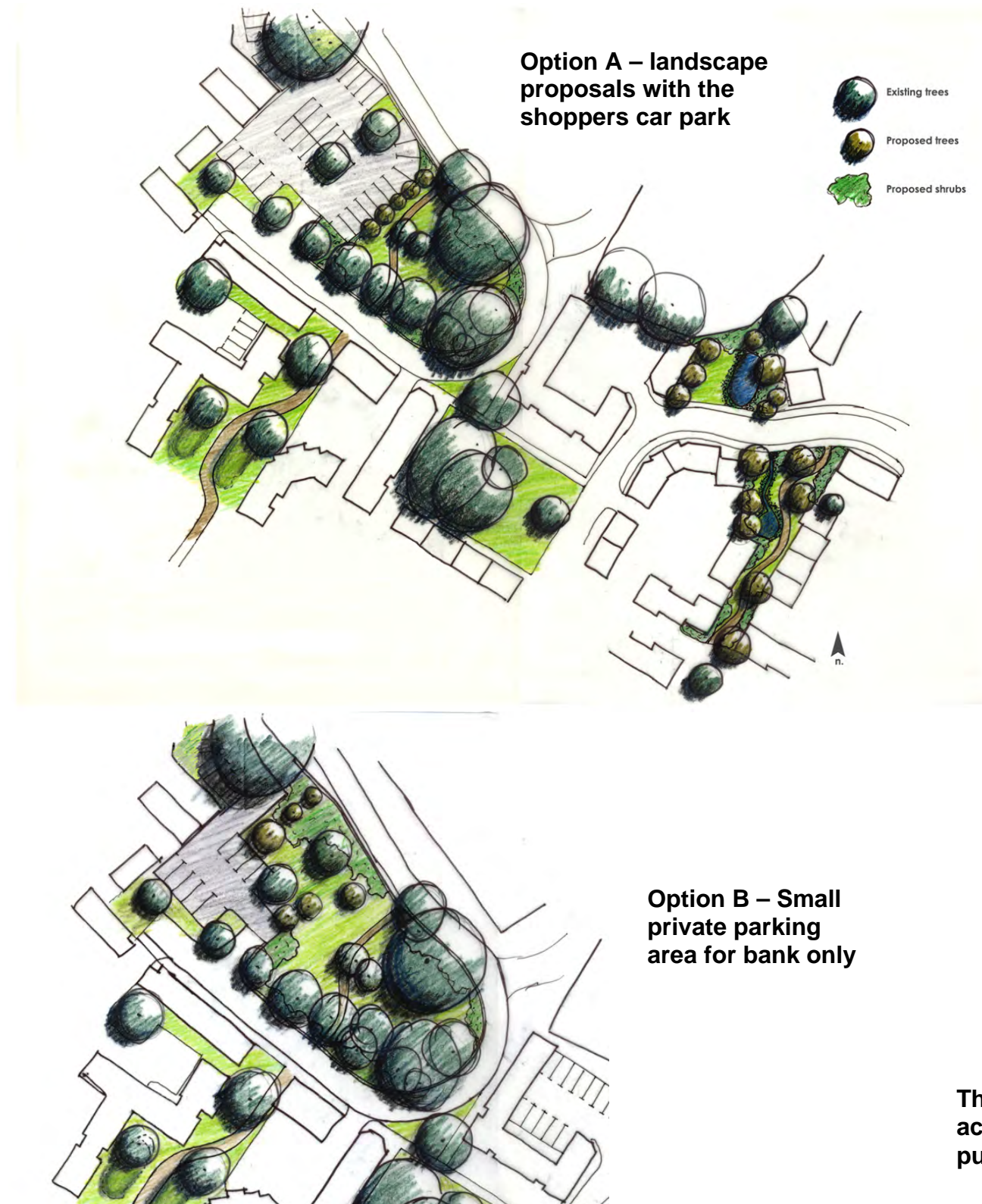
- To maintain a green backdrop to the Conservation Area and trees on the Halstead skyline
- To retain some of the best landscape features
- To retain some of the site's present character
- To link green spaces through the development
- To create green spaces for recreation and amenity throughout the development in accordance with PPG17
- To create areas which are diverse, with opportunities for biodiversity and sustainability

The landscape plans and the green space network plan show how the objectives can be achieved. Tree numbers referred to are those used in the recent tree survey.

The most difficult objectives to achieve involve the successful retention of mature trees on the site, close to proposed development. According to the tree survey, the trees of prime importance on the site are the lime tree (number 42 on the schedule on drawing number BTE-HAL-03 rev 3) which has no TPO, and the beech tree (number 98) which is protected. Open amenity space has therefore been allocated in the layout around the locations of these trees in particular to ensure their protection and retention.

The beech tree improves the visual setting of The Centre when seen from within the site and it can also be seen from the High Street along the access road. By retaining the beech tree, together with the nearby yew (numbers 84, 87 – 91) sycamore and holly (numbers 85 – 86) trees, within an area of public open space, some of the character of the present NatWest garden can be retained. The oak tree with the TPO (number 81) has not been retained due to its condition.

With the provision of the shoppers car park, option A, the space has far less potential for recreation.



The beech tree next to The Centre access road within proposed public open space



It is unavoidable, with the car park in this location, to lose some trees along the Conservation Area boundary but these should be kept to a minimum, to retain the visual amenity value of the greenery to the rear of the High Street buildings. Most of the yew trees (numbers 100 – 103) should be retained within the parking area.

Proposed tree and shrub planting help to screen car parking and the access road while creating biodiversity and visually softening the retaining walls along the north boundary. It is proposed that this area is informal in character, connecting with the green spaces to the south and south-west along footpaths through the development.

Under Option B, if the shoppers car park was to be located elsewhere, a large area of connecting open space is retained, allowing a number of mature trees to be retained in an area of value for informal recreation. This complies with objectives of PPG17. A path meanders through this green space, connecting the development with the shops beyond.

In contrast the proposed 'square' around the large lime tree is formal in its design with railings and a gate to allow informal recreation and exclude dogs. In line with the consultant's recommendations, adequate space for this large tree should be allocated with a minimum distance to buildings of 12m to the north – west and 10m to the south – west. To the north – east a distance of 20m and to the east a distance of 30m to the buildings have been proposed. Particular care should be taken if the air raid shelters next to the lime tree are demolished so that no damage occurs to the tree roots. Specialist advice should be sought as it may be necessary to remove the roof and fill the shelter in rather than remove it completely. The horse chestnut next to the lime tree must also be retained but may be pruned back under expert supervision (number 41). The nearby horse chestnut (no 73) and the hazel (no 74) should also be retained.

Trees on the axis of the pedestrian / cycleway link between the houses of Factory Terrace include a beech and a yew (numbers 32 and 30) and further north a sycamore and a



**Green Space Network**  
showing how the open  
spaces on the site relate to  
those nearby



holly (numbers 37 and 36) which should be retained for their amenity value along the link.

In the south –west part of the site, which lies within the Conservation Area, it is proposed that as many trees as possible be kept within amenity and parking areas. The existing pond south of the former United Reform Church should be retained and improved within a managed drainage system for the wet areas of the site as shown on the plans. To the south of the road a stream and a ditch continue beside a footpath with a range of trees, shrubs and ground flora perhaps connecting to another pond. It is proposed that these areas are managed as semi-natural areas with habitats developed and managed for wildlife.



**Pond retained within managed drainage system**

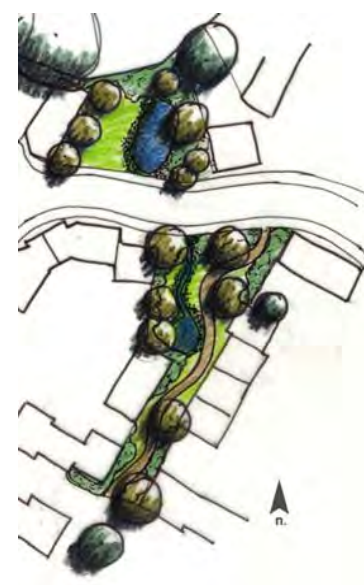
It is recommended that the Tree Protection Orders for the site are reviewed and amended before development commences. Consultation with Braintree District Council Landscape Services will be required prior to any work being carried out on the basis of the tree report. A climbing inspection will need to be carried out before final decisions are made about tree retention.

Landscape proposals for public and private amenity spaces must be submitted as part of any planning application and provision must be made for their maintenance. The

landscape proposals for the whole site should include provision and management of habitats to encourage biodiversity.

#### 4.6 Surface water drainage

Site investigations will be required from a developer to determine where ground water seepage is occurring and also where any existing land drainage may be located. Proposals for managing ground water seepage and run – off should then be prepared offering a sustainable solution (see landscape section). This should take into consideration existing drainage rights over the land granted to the adjacent landowner to the north.



A system of sustainable urban drainage should be in place for all hard surfaced areas within the development, such as car parks.

**Surface water drainage managed as part of the landscape**

#### 4.7 Archaeology

Trial trenching at 5% will be required, prior to any planning application, in the western area of the site adjacent to the town centre with a lower percentage being opened up in the eastern area to assess the extent and importance of any archaeological deposits. On the basis of the results of the evaluation, preference should be given to preserving any archaeological remains in situ via a design solution (PPG 16, 1990). If that proves to be impossible, then the impacts of the development should be mitigated by excavation.

#### 4.8 The air raid shelters

The retention of all of the air raid shelters would severely curtail the capacity of the site to be developed especially when all the other constraints are taken into account. The economic viability of assembling the land now under various ownerships may not be feasible for such a limited amount of development. If all the shelters were retained, with piecemeal development of other parts of the site, there would need to be a proposal for their management and maintenance which would need funding.

The development proposals do not therefore include the retention of all of the air raid shelters. However it is suggested that two underground shelters are retained for their historical interest, whilst still achieving the development potential of the site, if provision can be made for their management and maintenance. Subject to their condition, the two shelters along the pedestrian/ cycle route to Factory Terrace could be retained within the public open space. The possibility of using them for bat roosts or as a museum exhibit should be investigated.

Provision must be made for the surveying and recording of all of the air raid shelters prior to any demolition. A structural survey would be required of any air raid shelters retained. Listed building consent will be required for demolition of those which were within the curtilage of the Factory Terrace properties when they were listed. English Heritage (Heritage Protection Branch) must be consulted by the developer prior to demolition of any of the air shelters, however their response to consultation at the moment is that there are ‘no grounds at present upon which to conclude that this group of shelters is of exceptional interest’. There has been no official request to consider them for designation.



**Air raid shelter near Vicarage Meadow**



## 4.9 Layout and Design

The location of the site at the rear of the listed buildings fronting the High Street in Halstead and partly within the Conservation Area must be a major consideration in the development proposals for the site. Proposed pedestrian and cycle routes across the site, linking the historic core of Halstead with the surrounding existing development, provide a framework for the new development. Vehicular access is limited by the surrounding development and land use to one access road from the High Street and one from St Andrews Road as discussed in 4.4.

The illustrative layout also takes into account the topography and existing landscape, retaining such features as the principal trees, the presence of surface water, and the potential views up the hill to the former United Reform Church. Development is therefore located around four principle areas of open space:

- around the beech and nearby trees in the Nat West garden
- along the pedestrian route to Factory Terrace
- around the large lime tree north of Factory Terrace
- around open space extending down hill from the existing pond.

Development around these spaces can provide areas of distinctive character but with common references such as fenestration or materials linking them together along the footpath network. Due to the constraints of retaining adequate space around existing trees and the pond, it is likely that the open space provision will need to exceed 10%. The density of residential development should be in the range of 35 to 55 units per hectare.

New three storey development encloses the large open space with the beech tree and the adjacent shoppers car park. Live/work units, with two storey living accommodation above a north facing work area on the ground floor, front onto the pedestrian / cycleway route to the High Street via Gatehouse Yard. The living accommodation could have



Live /work units viewed across the public open space with the beech tree







south facing glazing as well as taking advantage of the views over the garden to the north. The units should incorporate external living space in the form of terraces or recessed balconies. Footfall past the work areas by shoppers using the car park may be advantageous to business, while the residential element would provide occupation of the area at night. A lower two storey part of the building extends over the pedestrian route providing enclosure and a gateway into Gatehouse Yard from the new development. This will be in scale with the smaller space and lower buildings within the Yard when seen from the High Street.

Although Gatehouse Yard is not within the site boundary, a new building has been shown on the layout replacing the present warehouse, as the owners have expressed an interest in redevelopment. The building should be two storeys in height with a pitched roof and rendered to fit in with the appearance and scale of the surrounding buildings. It is suggested that it would be for commercial use and provide more active frontage along the pedestrian / cycle route. It is understood that the unsightly walkway bridging across the yard is being removed. This together with the new buildings, the provision of well designed lighting and hard surfaces would visually improve Gatehouse Yard as a pleasant and safe route to the High Street.



**Gatehouse Yard**



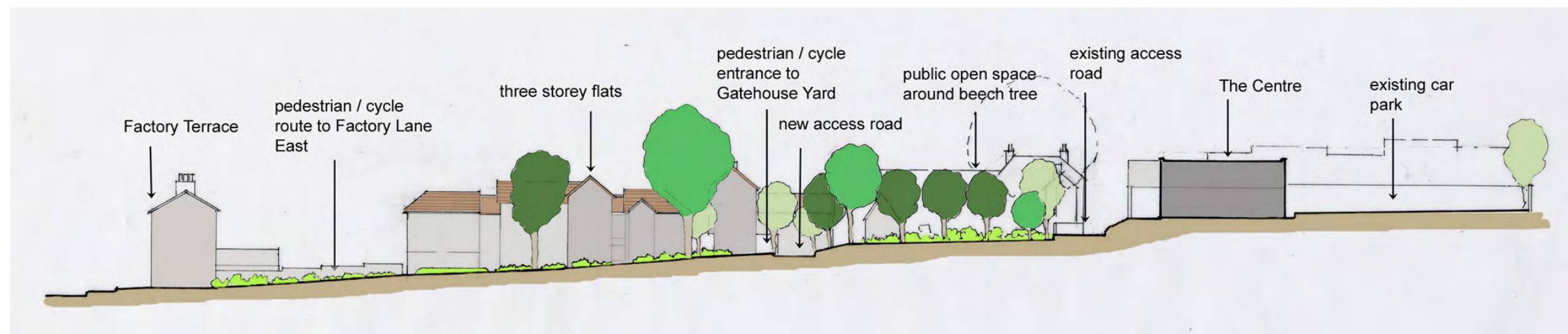
**Stone paving**

A covered way between the live – work units provides access to parking areas and also to small – scale two storey office or workshop accommodation at the rear, behind the High Street premises. These buildings nearest to the listed buildings in the High Street and within the Conservation Area should reflect this proximity in their use of form and materials, using small span pitched clay tiled or natural slate roofs and predominantly rendered walls, but possibly with a contemporary interpretation using sustainable construction and technology. Timber cladding could be used on the facades. The scale of the development particularly, should be compatible with existing buildings in the Conservation Area.

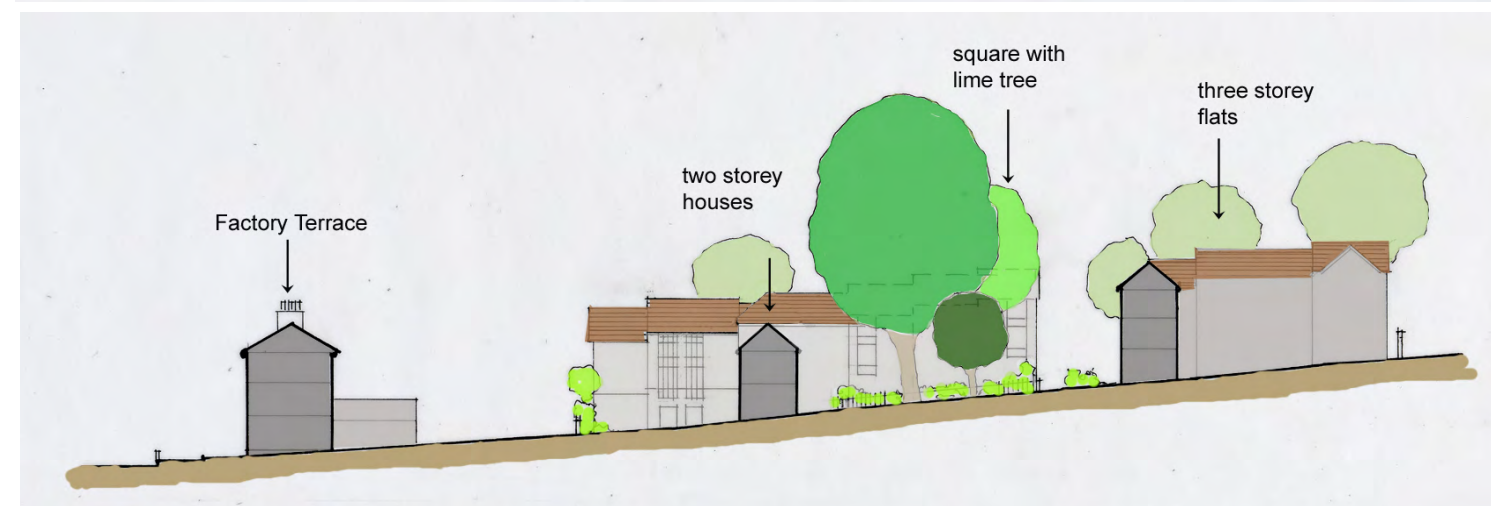
South of the live / work units, three storey flats with two and three bedrooms, provide frontage to the pedestrian / cycle route to Factory Terrace. They could have south – east facing recessed private balconies overlooking the public open space with the visual amenity of the retained mature trees. Vehicular access and parking is from the rear. Buildings overlooking this space in proximity to Factory Terrace should be in context with listed buildings perhaps with a predominance of similar red brickwork.







**Section bb**



**Section cc**



**Section dd**



It is proposed that the blocks of development on the south-east side of this route should also be in the form of predominantly three storey flats but these could provide sheltered housing for the elderly being close to the amenities of the town centre along a level access route. They also overlook open space and pedestrian routes in all directions providing good visual amenity for elderly people. Most flats could have a south – easterly aspect. Vehicular access to the flats could be through an archway from the road to retain the continuous frontage to the larger open space on the north side. Parking is provided within rear courtyards but with a lower provision in relation to the number of units for the elderly. Parking areas should be screened by landscaping. Both the flats and the sheltered housing are within the Conservation Area boundary and must therefore complement and enhance its character. Fencing, or walls facing public spaces, should enclose the site boundary, supplemented by a landscaped buffer zone of trees and shrubs abutting the gardens of existing houses.



**Factory Terrace**

The enclosure of the open space around with the beech tree is completed by predominantly three storey flats south of the

vicarage garden stepping down the hillside and returning along the north - east side of the square formed around the lime tree. A terraced parking area to the rear is accessed from the extended St Andrews road. This parking area is enclosed on the east side by two storey flats overlooking the pond. Use should be made of the sloping site to produce some interest in the design of these flats, perhaps using a duplex arrangement which would facilitate entry at appropriate levels. Ground floor south facing flats could be provided with some private outside space within the square provided that this was defined by low planting. Flats on upper floors could be provided with external balconies, terraces or glazed garden rooms. Materials used should be a mixture of brickwork and render contributing to a distinctive character for the formal square. Due to its elevated position the roofscape will be important and the pitched roofs should provide variety in height stepping down the hillside.

The south side of the square accommodating the lime tree is enclosed by a terrace of two storey town houses with private gardens facing south. The terrace is on the same alignment as Factory Terrace and should take reference from it without pastiche imitation, perhaps using the same brickwork colour and roof materials. Again the southerly rear aspect could provide an opportunity for harnessing solar gain. To prevent overlooking of the rear of Factory Terrace these houses must also be 15m from the site boundary unless privacy is achieved by design of the rear elevation. This terrace will also fall partially within the Conservation area boundary.

Beyond the south – east end of Factory Terrace and east of the new access road the development is predominantly two storey houses linked together to form continuous frontage stepping up the hill. Public open space has been allocated around the existing pond extending downhill towards Vicarage Meadows. The open space also retains and enhances the view up the hill to the listed former United Reform Church. Houses will front onto a footpath through the open space linking Vicarage Meadows with St Andrews Road. Vehicular access for these houses is from parking courts at the rear. Space should be allocated within dwellings for the storage of materials for recycling.

External lighting for the development should be appropriate in scale and designed to avoid light pollution of the night sky. Developers should contact ECC street lighting engineers for Guidance.

New buildings should make provision for wildlife by incorporating nest boxes / bat roosts into their design.

If piling is required, auger rather than driven piling should be used, subject to site conditions.



**The view up the hill to the former United Reform Church**



#### 4.10 Parking

The shoppers car park provided on the site will have 30 spaces, 3 of which should be for disabled use. It seems likely that the eight spaces will be lost along The Centre approach road as the increased traffic will require the full width of the road to be used. Further spaces could be lost in the High Street to improve sight lines at the existing junction. Space for cycle and motorbike parking will be required.

Parking for the new residential development will be 100% only due to its close proximity to the town centre and local bus services. Parking is provided in small parking courts to the rear of housing or in some cases in a parking space underneath the building. High quality surface finishes with tree planting should be provided within parking courts. Space for cycle parking must be allowed for flats and for houses without garages. Cycle parking provision should be in accordance with the 'Vehicle Parking Standards' published by the Essex Planning Officers Association.

Parking for the commercial development will be one space for each 20 sq m of accommodation.

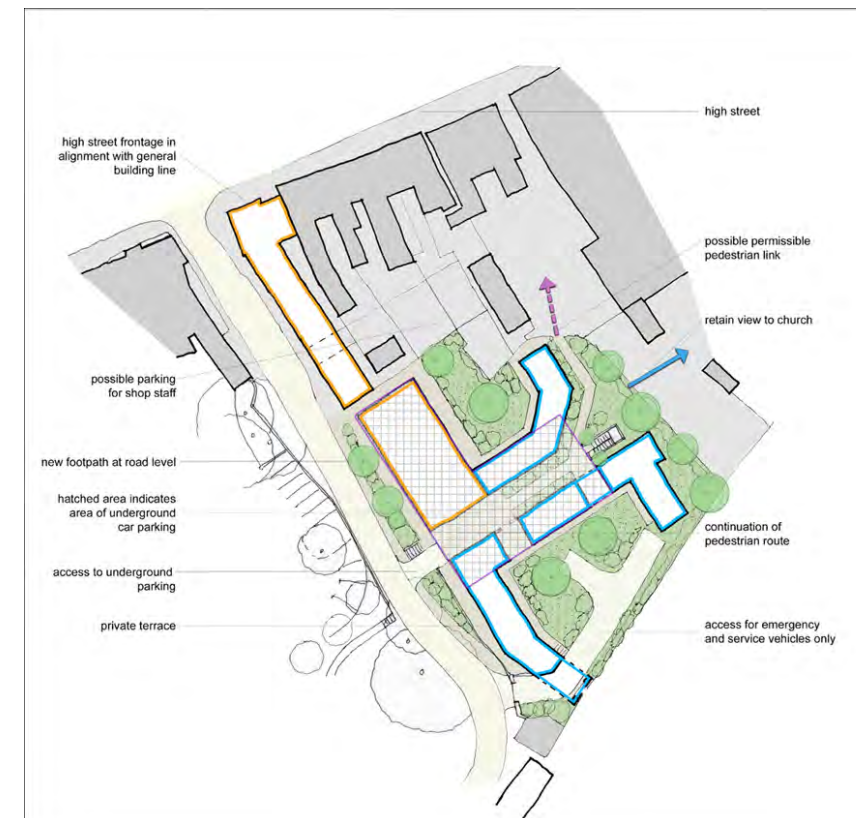
The NatWest Bank has a parking area at present which is within the site boundary and accessed from Gatehouse Yard. This provision would therefore be lost due to the redevelopment. Eight parking spaces could be accommodated within a retained area of the present garden at the rear of the bank with access from the proposed shoppers car park.

Eight parking spaces are provided for the residents of Vicarage Meadows at the end of the road. This will be at the level of the existing roadway and below the level of the footpath and adjacent new development. This will also accommodate turning space for cars.

#### 4.11 Enhancement of The Centre

As planning permission has recently been granted for conversion of part of the building for residential use major

redevelopment of the Centre is probably not feasible at the present time. We understand that refurbishment of the car park is in progress and that a moveable barrier is to be provided at the entrance. Improvements to the public realm



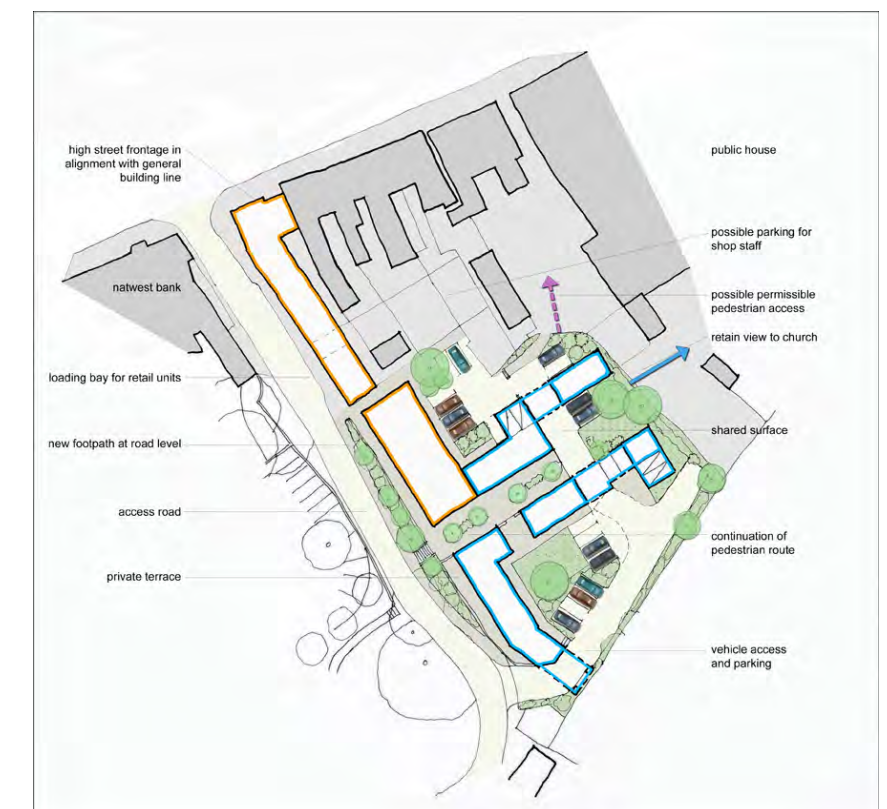
in front of the building are required such as new railings, steps and disabled access ramp. A contribution to this provision will be required as part of the Section 106 agreement as these improvements will be necessary in order to provide an alternative access to the High Street from the development. The raised pavement is adopted with the carriageway but the landscaped area at the east end of the building is not adopted. The latter is a possible location for the ramp.

Due to the poor impact of this building on the streetscape in Halstead, particularly where it intrudes into the High Street, redevelopment should be the long - term aim. Layouts for two options for redevelopment including some retail or

commercial development as well as flats are shown. One option shows surface parking and the other underground parking. This achieves 100% parking for the residential development but does not provide many spaces for the retail

**Redevelopment option 1**  
**Underground parking**  
**25 flats / 30 parking spaces**  
**550 sq m of retail / commercial space**

**Redevelopment option 2**  
**Surface parking**  
**20 flats / 24 parking spaces**  
**540 sq m of retail / commercial space**





/ commercial units. Underground parking provides the potential for increasing the number of spaces provided. It may also be possible to provide a covered access to land at the rear of High Street properties for parking but this is outside the confines of the site. The layouts both continue the pedestrian links from south of the access road through the development to a possible pedestrian link through the public house yard to the High Street. The bank adjacent to the access road has been remodelled to allow space for a footpath alongside the carriageway. The buildings should have pitched roofs with the frontage to the High Street continuing the roof alignment of the existing buildings. The unit on the corner of the High Street and the access road should address both frontages. Several smaller rear units should face onto the access road providing active frontage.

#### 4.12 Services

Utilities plans are contained in the report from Robin Webb Consulting Ltd.

##### Electricity

There is an electrical substation at the east end of the Centre road. This is connected into the High Street by a cable running underneath the elevated footpath in front of the Centre. There is a connection into Gatehouse Yard from the High Street serving the cottage and the warehouse. There are also supplies in Factory Lane East and St Andrews Road but no supply on the site.

##### Water and sewage

A sewer crosses the site from north – east to south – west running to the rear of Gatehouse Yard and the High Street properties. There is also a sewer running eastward along part of Factory Lane East. Water services are available along The Centre access road, St Andrews Road and Factory Lane East.

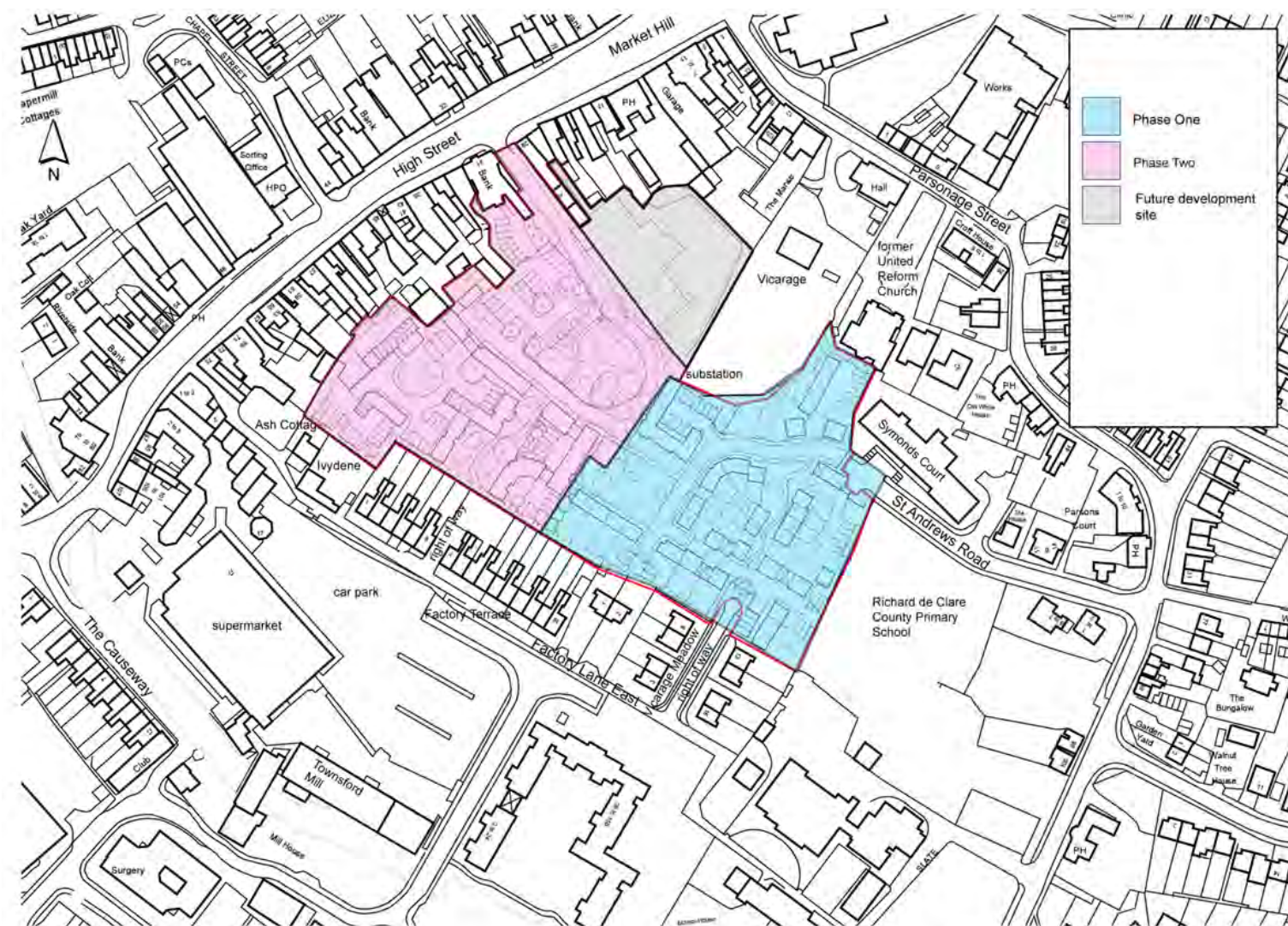
##### Gas

Gas mains are located in the High Street with a spur serving The Centre running under the pavement. A supply also runs along Factory Lane East with a spur located through the gap in Factory Terrace to serve the rear of the properties. Another spur runs under the carriageway in Vicarage Meadow. There is also a supply along St Andrews Road.

#### 4.13 Land ownership and assembly

There are a number of different land ownerships and in order to assemble the land for development it may be necessary for Braintree District Council to explore compulsory purchase.

If it was not possible to assemble and develop all of the land at the same time it may be possible to phase development related to the two vehicular access roads.



Halstead - Phasing Diagram



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## 4.14 Public Art

As required by the Local Plan the development must make provision for Public Art. Public Art is the term given to art projects, which are created by professional artists and craftspeople for a specific site or area. Artwork can be free standing, fixed, permanent or temporary and can be:

**Functional Artworks** - For use in the design of the environment (seats, gates, flooring, fences, arches, lighting).

**Decorative Artworks** – Such as mosaic floors, wall murals, stained glass windows, textile hangings, photography, sculpture and paintings.

**Artist Residencies** - Leading to the creation of installations or exhibitions where the artist works with local communities, schools etc.

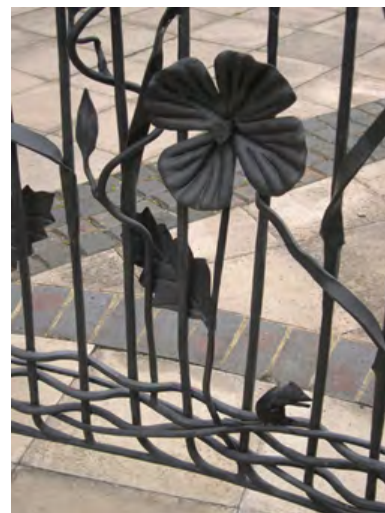
Public art is capable of creating distinctive buildings and public spaces that enrich the environment and create a place where people want to live.

**Percent for Art** is a useful mechanism to create funds for Public Art through planning gain [Section 106 Agreements]. A Percent for Art scheme invites developers to allocate **up to 1%** of a total development cost for commissioning artwork. This can apply to the overall design of a project or it can make a visual contribution to the amenities of the area.

Percent for Art can feature in projects such as new housing and commercial developments, public bridges and engineering infrastructure, landscaping and play-places as well as new civic buildings and hospital developments.

### Possible locations for artworks within the site

These would be along the main pedestrian routes, particularly through Gatehouse Yard, and also within the public open spaces. The works could be functional in the form of seats and railings, or decorative to provide focal points or landmarks.



Gates to Arts Centre

### Developing Communities

Artists can work with local communities to develop ideas and actual artworks that can be integrated into capital building works, thereby involving local people in the design

process to influence their own environment and bring about a better sense of ownership and pride in their locality.

The role of the arts in community development is increasingly being recognised. Participation in the arts can be important in building community integration and self-reliance. The arts nurture thoughtfulness as well as people's ability and willingness to be involved in local action.

Themes for artwork/s should be developed in consultation with members of the local community to establish a sense of history and context for the area and to forge relationships between local people and professional artists.

### Ways to involve artists

The selection of artists and crafts persons should be made against clear criteria based on objectives of the commission. According to the nature of the Project, one of three main methods of recruitment should be used:

**Open submission** – opportunities would be advertised nationally or locally and application sought from artists  
**Limited submission** – a shortlist of artists would be drawn from the Essex Register of Public Artists and /or recommendation and either paid to produce proposals [from which the final artist/s would be selected] or invited for interview.

**Direct Invitation** – artist/s would be approached directly and invited to undertake the submission.

The final choice of artist/s to be commissioned will be the responsibility of the commissioning agent or developer, but they are encouraged to seek advice and assistance from Braintree District Council and Essex County Council and to involve and consult the local community.



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#### 4.15 Section 106

Contributions will be required under a Section 106 agreement for the following work to enable development of the site to take place.

A Transport Impact Assessment will be required to support any planning application. This would need to examine the capacity of the surrounding highway network together with public transport provision, walking and cycling. This Assessment may necessitate further highway work to be implemented, other than that listed, to facilitate the development.

Any work required to improve sight lines at the junction between the High Street and the Centre access road required by the Highway Authority.

Modifications to the Centre road at the junction with the new access road possibly giving the new road priority.

Refurbishment of the pavement and steps to the Centre and the provision of a disabled access ramp to provide a good safe link from the new access road to the High Street.

Improvement works necessary to upgrade St Andrews Road prior to adoption. Any modification required to the junction of St Andrews Road with Priory Street and traffic calming outside Richard de Clare Primary School.

The provision of a 30 space public car park with provision for motorcycle and bicycle parking.

The provision of 8 parking spaces and a turning area at the end of Vicarage Meadow for the use of residents of that road.

Provision of high quality paved surfaces, lighting and street furniture for any pedestrian / cycle link through Gatehouse Yard.

Provision of high quality paved surfaces, lighting, street furniture and planting for any pedestrian / cycle link from

Factory Lane through the gap in Factory Terrace to the site. New garden walls for nos 6 and 7 would be required to enclose the route.

Provision of high quality paved surfaces, fencing and lighting for any pedestrian link which can be established through the yard forming part of the Interphase Electrical Services premises, subject to the agreement of the owner, into the High Street.

The provision of surface finishes, fencing, gates and lighting (if required) to any footpath which may be permitted through the vicarage garden.

Contribution towards provision of additional school places.

The surveying and recording of any air raid shelters / radio station demolished to make way for development. A full structural survey of any retained shelters with a contribution towards their maintenance and management.

Provision of 30% affordable housing.

The implementation of approved landscaping proposals for public open space prior to its transfer to Braintree District Council with a contribution towards its maintenance.

Provision of 1% of the capital cost for public art.



## 5.0 Bibliography

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Braintree District Local Plan Review  
First Deposit Draft 2002

Braintree District Local Plan Review  
Revised Deposit Plan May 2003

Braintree District Local Plan Review  
Pre – Inquiry Changes Nov 2003

Consultants Reports as listed in the introduction

Land Registry Documents

Historic maps

Halstead Historic Towns Project Assessment  
Report  
Maria Medlycott Essex County Council April 1998

A Look back at Halstead by Doreen Potts

Braintree District Council development brief for the  
site prepared in 1986

The planning application for development of the  
site in 1987

Braintree District Council past files on the site

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# Appendix 1

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## Enhanced survey drawing based on 1987 survey

### Topographical survey notes by ECC Field Archaeology Unit

Essex County Council Field Archaeology Unit carried out topographic survey on land to the rear of Halstead High Street in February 2004. A Temporary Bench Mark (TBM) value was transferred from the wall of Halstead Post Office (41.33m OD), situated on the High Street, into Areas A, B, C, D and E (see plan).

Due to inaccessibility to most of the survey area, the use of a Total Station Theodolite (TST) was found to be impossible. A Dumpy Level was used to transfer and record spot heights, as accurately as possible, using buildings as reference points and tape measures. A total of 36 spot heights were recorded within the specified areas. The spot heights have been plotted on the digital plan in AutoCAD Release14 for purposes of contouring. A table with the height values has been included which correspond with the plan numbering.

During the survey, Areas C, D and E were found to be mostly inaccessible due to overgrown trees and scrub. Therefore, height values were taken only where practicably possible. No heights have been recorded in the car park area of A, as contractors groundworks are currently being carried out at this location.

Most of the trees previously marked on the digital plan appear to still be present, although different in size from the previous survey. However, without use of the TST, further accuracy and location checks of trees was not carried out

**Jo Archer**

13/02/04



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# Appendix 2

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## Report of Tree Survey February 2004 Prepared by Mr. S. E. Westover of Westover Woodlands

### Introduction

This report has been commissioned by the Built Environment Branch of Essex County Council, as part of the preparation of a design brief for the site. It should be read in conjunction with drawing BTE-HAL-03 rev A, which incorporates the tree schedule and shows the approximate location and the identification number of the trees listed.

### Limitations

The topographical survey (BTE-HAL-01) is only partial, and the information it contains is incomplete, out-of-date and inaccurate. Of the few trees shown, some have gone, the crown spread of others is understated, and some are plotted in incorrect positions. The tree information originally plotted on this drawing should therefore be ignored.

The density of cover on the site has made measurements of tree height and crown spread difficult. In most cases the figures are best-estimates. Crown spread has only been recorded for the 'green' and 'blue' category trees, except where trees overhang the Centre. Crown spread gives an indication of the protection zone (PR) required around trees, within which there should be no work, or work carried out only in accordance with an appropriate specification. Crown spread can be reduced by pruning, but it does not follow that PR should be reduced; different species of tree tolerate pruning and work within the PR to different degrees. For example, yew are generally more tolerant than beech.

The dense ivy growth on many trees has made girth or DBH measurements difficult in some cases; these have been omitted. Some indication of tree size can be inferred from estimates of height and crown spread, but these should be treated with caution. As the development brief progresses, it will be necessary to revisit and measure key trees.

The dense ivy growth on many trees has made an assessment of tree safety difficult. It has not been possible to check the trunks of all trees for indications of weakness.

The timing of the survey (February 2004) has meant that the deciduous trees have been surveyed without foliage. The condition of foliage is an important indicator of tree health, which cannot be taken into account for the preparation of this report. Trees of less than 100mm DBH have generally been ignored for the purposes of this survey.

There are, as yet, no development proposals. It has therefore not been possible to follow the tree survey methodology of BS5837 to the letter. Where para. 5.2.2 of the BS refers to trees being "in harmony" with development, this has been interpreted for the purpose of this survey, as being trees which could be in harmony with an appropriate proposed

development. It is accepted that other factors will also influence the layout of development.

### General Site Description

The site lies on a generally south facing slope overlooking Factory Terrace and the Colne Valley, in Halstead Town Centre and just east of the High Street. It provides a visually prominent green centre to Halstead, particularly when viewed from the south or from the The Centre. It is poorly drained, though whether as a consequence of natural springs or the failure of a drainage system, is not apparent. Information from a resident of some 30 years, suggests that there have always been springs on the site, and that the original drainage to the east of Factory Lane East has been impeded for many years. As a consequence the eastern half of the site is very wet, and is developing into wet woodland, dominated by Sycamore, with an understorey of bramble, with some young Hazel. Areas are dominated by Horsetail (*Equisetum palustre*), and Japanese Knotweed (*Polygonum cuspidatum*) an invasive pest, is also present. The site is likely to contain significant wildlife interest. It is clearly used by Muntjac deer, and several species of common bird are present. Local knowledge indicates a large population of frogs. Ground flora appears unexceptional, though there are at least two plants of Green Hellebore (*Helleborus viridis*), an unusual plant in Essex, largely because there are few wet woodlands, their preferred habitat, and a large patch of Ransoms or Wild Garlic (*Allium ursinum*) (see below) It is possible that these are garden escapes.

### Description of Tree Cover on the Site

The site can be divided into seven areas:

- i. **Rectangle north-west of Ivydene and rear of 59-71 High Street.** Covered in brambles, within one Spruce (no.18 of the survey) in the eastern corner. This is a young semi-mature specimen of good form and vigour, which could make a contribution to the site.
- ii. **Land north-east of above and rear of 49-57 High Street.** A long narrow rectangle of abandoned garden, dominated by Snowberry (*Symphoricarpos*) and carpeted in Snowdrops in February and Ransoms or Wild Garlic (*Allium ursinum*) in March. There are also the remains of fruit trees, in particular one surviving Apple tree, and several Prunus suckers. The key trees in this area are on the boundaries, in particular two hollies (8 & 11), a Sycamore (12), a Yew (23), another young holly (36), and two more sycamore (37 & 39).
- iii. **Land containing fifteen air-raid shelters and one other building.** Generally this area contains occasional sycamore and some elm growing from the mounds over the shelters. These may be likely to damage these structures and their removal may be appropriate if the shelters are deemed important. However, to the north-east of the more westerly group of shelters are two beech (28 & 32). These



## Appendix 2

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latter two trees may have grown out from a former Beech hedge; though not perfectly formed as a result, they are none-the-less trees of considerable amenity value. The most significant tree on the whole site is the Lime (42). This tree has a girth of some 3.5m and a height estimated at in excess of 30m. It is substantially taller than any other tree on the site, and is a significant landmark viewed from across the River Colne to the south. It appears to be free of any defect: although it does have a slight lean from the vertical, this appears to be a result of it's proximity to the adjacent Horse Chestnut, and not a consequence of root plate movement. At the time of the survey, exact identification of the Lime is not possible but it seems likely to be Small Leaved Lime (*Tilla cordata*), in which case it is notable regionally for it's size. Further work to identify this tree and compare it with others of the same species is essential before its importance can be fully assessed. The Horse Chestnut is also a substantial tree, with a very one sided crown to the north, and a large old wound and decay on the main stem. However, the removal of this tree may compromise the safety of the Lime; it should therefore be retained, with some pruning to maintain its safety in any development which may be proposed.

- iv. **Former allotment gardens off St. Andrews Road.** With the exception of one well formed semi-mature holly (50), most of the trees here are Sycamore and two unhealthy old fruit trees of no particular merit. The several Sycamore in 56 have grown as a dense stand, and are drawn up, with no individual tree having merit as a specimen. (As a Sycamore woodland, specimens could be selected as future timber trees) Sycamores 59-61, growing close to the boundary with the United Reform Church, have some merit, and could be retained if space allows in any development. However, 59 and 60 do not have a satisfactory long term future in this location, due to their proximity to the Church and boundary wall. This part of the Site is partly enclosed by hedges; those on the south and east would have some merit as boundaries to a development, with suitable management. The western hedge (H3) has little merit.
- v. **Central area.** Though that part of the site referred to above is damp, this area is marshy across much of it's surface, with a small pond and streams. As a consequence many of the Sycamore, which form the dominant tree species are poorly formed and dying. There is evidence of Sooty Bark Disease (*Cryptostroma corticale*). However on the periphery are some trees which have an amenity role in a future development (65,72 and 73), and a group of Sycamore (71) might make a strong central feature in an appropriate layout. The site is encroached upon by trees on land to the north, in particular a Yew (64) and an Ash (69). The latter is protected by the Braintree District Council Tree Preservation Order 1/85, but appears to be in a very poor condition; a further assessment is required to check foliage condition. The Yew could be pruned with care to reduce overhang without spoiling it's health or form. The owners should be consulted.
- vi. **Former Garden rear of Nat. West Bank.** In this area it is possible to "read" the

- vii. layout of the former garden beneath the vegetation. To the east of the existing lawn is an area of dense shrubbery containing Laburnum (111 & 112) and Yew (100-103) with other shrubs, and more recent natural regeneration of Sycamore (83, 104, & 105) and Horse Chestnut (107, 108 & 109). Some of these younger trees have potential to make good specimens. Here also stands the protected Oak (81), though the condition of this tree is uncertain; although there is no obvious sign of disease or decay, the crown appears thin, with excessive quantities of dead wood. A further visit is required to assess foliage, and hence the health and merits of this tree. To the east of this is a raised terrace with a very fine protected beech (98), a sycamore (85), and several Yew, all mature trees which give this part of the site an ambience and quality quite apart from the remainder the site. A shallow flight of steps leads south down to a level area, now supporting a grove of sycamore (80). These are older and better formed than most on the site, and are clearly identifiable as a small woodland; indeed, there is evidence that the site has been subject to a silvicultural thin. However, though these may make fine timber trees given time, some are damaged, and none are good specimens individually, suitable for retention in a development. At the eastern end of this area, where the ground begins to become marshy, stands the remains of an enormous Hazel coppice stool. It is in very poor condition, and of interest primarily due to it's size and age. It appears not to be the common *Corylus avellana*, and is probably a variety bred for nut production. It is probably the parent of the many small hazel plants growing throughout the site. Sadly, it is not suitable for retention in a development.
- viii. Area to the rear of The Centre. This car park area is surrounded by trees, few of which have any merit. Depending on the type of development proposed, the Sycamores 126,127,132, and 133 could possibly be retained for their amenity value

### Conclusion

There are few trees of outstanding individual merit on this site, the two most significant being the Lime (42) and the Beech (98), though there are a number of young trees which have potential and could be retained within suitable development (e.g.50), and some groups (e.g. 71). Judgement is reserved on the single mature Oak, due to doubts about it's condition.

In terms of tree protection, the Beech (98) must have complete protection of 12m or within the canopy spread, whichever is the greater, if it is to continue to make a contribution to the local environment. The Lime (42) is likely to tolerate some disturbance, being a generally more robust species, but a tree of this size, age and quality, should be subjected to minimal interference. Consideration should also be given to people's willingness or otherwise to live in close proximity to a tree of this size when planning the layout of any residential areas which may be included in the proposals. BS 5837 would indicate a minimum protection zone of 8m, but it is suggested that residential properties should be no closer than 30m to the east and north east.



## Appendix 3

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### **Response from ECC Heritage Conservation Team**

#### **North of Factory Lane, Halstead**

Thank you for consulting the Heritage Advice, Management and Promotion Team on the above proposal.

The Heritage Conservation Record shows that part of the development area lies within the medieval town of Halstead (EHCR 9429). The town has obvious planned elements such as the street up the hill forming a cigar shaped market place with large plots on either side. Parts of the present St Andrews Church dates to the fourteenth century (EHCR 9431). The western side of the development area lies within the medieval town and will require evaluation by trial trenching to assess the extent and importance of the archaeological deposits. Also in this area a first century coin has been found in one of the gardens, potentially indicating earlier occupation in the area. It would be recommended that trial trenching at 5% of the western area be undertaken with a lower percentage being opened in the eastern area to assess for other surviving archaeological deposits.

I understand that there are also some air raid shelters which may be of interest. Our military expert has visited them but I have had no report back as to their importance.

**Richard Havis**  
**Senior Archaeological Development Control Officer.**



## Appendix 4

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### List of Landowners and leaseholders

Salvation Army Housing Association 229-230 Shoreditch High Street London E1 6PJ	EX 503545	Michael Fleet Interphase Electrical Supplies 67b High Street Halstead CO9 2JD	
Spurdown Investments Ltd Cumberland House, 24/26 Baxter Avenue, Southend – on – Sea SS2 6HZ	EX646285 (The Centre)	Lucaspride Ltd 13 Radnor Walk, Chelsea, London SW3 4BP	EX373631
Peter Anson 39 Clarence Street Southend – on Sea	EX355343 (The Centre)	Braintree District Council Causeway House Braintree Essex CM7 9HB	
Maurice Lake 52 Ramsey Road Halstead & Juile Lake, 7 Conway Close, Halstead	EX 584035 (leasehold, The Centre)	Charles & Jean Bareham 1 Vicarage Meadow Halstead CO9 2JL	EX347793
Christopher & Wendy Bowes Cracks Hill House, Craigs Lane, Mount Bures, Sudbury, Suffolk CO8 5AN	EX674708 (The Centre)	Mr & Mrs Barlow 2 Vicarage Meadow Halstead CO9 2TL	
NatWest Bank 31 High Street, Halstead Agents: GVA Grinley (Chris Leeks)		Patrick & Peta McGuinness 53 Colchester Road Halstead	EX347478
G E Cooke & Son 2 York Road Earls Colne Colchester Essex CO6 2RN			
Brian Fleet 60 London Road Braintree CM7 2LH			



# Appendix 5

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## List of Consultants

Robin Webb Consulting Ltd  
Electra House  
Gilberd Road  
Colchester C02 7LR  
Tel: 01206 860999

Westover Woodlands  
6 The Limes  
Gosfield nr Halstead  
Essex C09 1UA  
Tel: 01787 477331

Essex County Council Field Archaeology Unit  
Braintree  
Essex

Essex County Council	Highways and Transportation
County Hall	Archaeology
Chelmsford	Landscape Consultancy
Essex CM1 1QH	Historic Buildings & Conservation
Tel: 01245 492211	

Essex Ecology Services Ltd (EECOS)  
The Joan Elliot Visitor Centre  
Abbotts Hall Farm  
Gt Wigborough  
Colchester C05 7RZ  
Tel: 01621 862986

## List of Agencies consulted in report by Robin Webb Consulting Ltd

Anglian Water Services Ltd  
Henderson House  
Lancaster Way  
Huntingdon  
Cambs PE29 6XQ

Transco  
Peterborough office

EFD Energy  
Fore Hamlet  
Ipswich  
Suffolk IP3 8AA

Essex Records Office  
Wharfe Road  
Chelmsford  
Essex CM2 6YT

Colchester library  
Trinity Square  
Colchester C01 12JB

The Environment Agency  
Eastern – Anglian  
Eastern Area Office  
Cobham Road  
Ipswich

British Geological Survey  
Kingsley Dunham Centre  
Keyworth  
Nottingham NG12 5GG

Homecheck Professional  
Imperial House  
21 -25 North Street  
Bromley BR1 1SS



# Appendix 6

## Ecology Report Phase 2 Surveys

### Introduction

#### General Introduction

Essex Ecology Services Ltd. (EECOS), the survey and advisory company of the Essex Wildlife Trust, has prepared this report on behalf of Essex County Council for Braintree District Council. It comprises the results of additional survey work carried out following a preliminary assessment of the site carried out by EECOS in January/February 2004.

#### Summary Site Description

The site lies within the centre of Halstead to the north of the River Colne. To the west is the High Street and to the south is Factory Lane. The northern side of the site is bounded by the buildings of Parsonage Street including Halstead United Reform Church and the large garden of the adjacent vicarage. To the east is Richard de Clare County Primary School. Within the site boundary is an arcade of shops known as The Centre, A formal garden associated with the Natwest bank and a car park (Gatehouse Yard). Along the southern edge of the site the gardens of Factory Terrace and Vicarage Meadow have been (unofficially) extended onto the site. In this area is a row of sunken, concrete air raid shelters and an associated derelict, brick-built building.

#### Survey

Survey work was carried out between 5<sup>th</sup> April and June 2004. The main strands of investigation were:

- Reptile survey
- Breeding bird survey
- Assessment of bat activity at The Centre
- General habitat survey
- Invertebrate survey

### Methodology

#### Reptile Survey

A number of squares of roofing felt were placed in suitable basking locations in the more open, eastern part of the site. The mats were then checked on seven occasions when the weather conditions were suitable. These checks consisted of inspecting their surfaces for basking reptiles and lifting them to search for any sheltering individuals.

#### Breeding Bird Survey

On four occasions the site was visited early in the morning when bird song is at its strongest. The species of bird singing (and therefore breeding) within the site were recorded and, where possible an estimate of the number of pairs present was made.

#### Bat Activity at The Centre

The buildings of The Centre were examined for evidence of bat activity and in particular the aggregations of droppings that would indicate regular use of a roost. Binoculars were used to search along the edges of the flat rooves and windowsills and other such featyres were searched for droppings.

#### General Habitat Survey

A species list of the plants present on the site was compiled and notes were taken of any significant plant communities.

#### Invertebrate Survey

Five visits were made to the site to collect and identify invertebrates. Particular attention was paid to flies, and in particular hoverflies, as easily identified indicators of habitat condition and quality. A variety of methods was used to collect invertebrates including sweep netting, visual searching and moving debris (including the roofing felt reptile mats).

### Results

#### Reptile Survey

No reptiles were found during the survey. Over the course of the survey period, much of the open area became swamped in a dense stand of Giant Horsetail (*Equisetum telmateia*) with Nettles (*Urtica dioica*), which would have made the habitat fairly unsuitable for most reptiles with the possible exception of Slow Worms.

#### Breeding Bird Survey

Table 1 shows the species of birds considered to be breeding on the site along with an estimate of the number of pairs involved.

Table 1 – Breeding bird species and numbers

Species	Estimated number of pairs (or singing males)
Blackbird	2
Blackcap	4
Blue Tit	2
Bullfinch	1
Chaffinch	3
Chiffchaff	2
Collared Dove	2
Dunnock	3
Goldcrest	1
Goldfinch	2
Great Tit	1
Greenfinch	1
Pheasant	1
Robin	3
Song Thrush	2
Whitethroat	1
Woodpigeon	2
Wren	10



# Appendix 6

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The list of species recorded from the site includes all of the garden birds that you would expect in an essentially built up area. The most significant species are Song Thrush and Bullfinch, both of which are priority Biodiversity Action Plan species and appear in the birds of Conservation Concern Red List because of large (50%) declines in their populations over the last 20 years.

Song Thrushes are, however, still widespread and common in urban and suburban parts of Essex, particularly in large gardens. The damp, shady and largely undisturbed nature of most of the site is ideal for this species and the molluscs on which they principally feed.

Bullfinches are less common within urban areas, favouring extensive scrub habitats and large hedgerows. Nonetheless they remain common in suitable habitat within the countryside of Essex.

The only other notable species is Goldcrest, which is thinly distributed in Essex as a breeding bird, but which is probably under recorded in large gardens and parks within urban areas.

## Bat Activity at The Centre

No signs of bat activity could be discovered around The Centre, although the flat roofs of the building could offer opportunities for small bats to gain access to spaces beneath the felt, especially the pipistrelles species. There was no evidence of any such access points; no unusual staining or accumulation of droppings stuck to the walls, for instance.

## General Habitat Survey

A full list of plant species identified during the survey is included in Appendix 1.

The eastern half of the site remained wet throughout the survey period and so is clearly spring fed. The resultant vegetation is extremely lush with Giant Horsetail (*Equisetum*

*telmateia*) dominating the open areas, even out competing Nettles (*Urtica dioica*) and coarse grasses such as False Oat-grass (*Arrhenatherum elatius*). All of these species were approaching head height by the end of the survey. The dominance of these species prevents the less competitive flowering plants from becoming established resulting in plant communities rather lacking in diversity. This is reflected in invertebrate populations, as mentioned in the following section.

The stand of Japanese Knotweed (*Fallopia japonica*) is still present and is likely to expand in coming years.

The remaining, wooded area is largely dominated by an invasion of Sycamore, a species that casts a dense shade that tends to suppress the development of a diverse ground flora. This is the case here with Ivy (*Hedera helix*) and Nettles the most common components of the ground flora. The one exception to this is a thin strip to the northwest of Factory Terrace leading west from the derelict brick building. This strip contained large quantities of Snowdrops (*Galanthus nivalis*) earlier in the year and now contains Ramsons (*Allium ursinum*), a woodland species of restricted distribution in the county. In this instance its presence is probably a rare case of it being incorporated into a formal wooded garden.

## Invertebrate Survey

A full list of species recorded during the survey visits is included in Appendix 2.

The site appeared to support a large abundance of insects, although the diversity of species recorded during this survey was relatively low. The most significant species was a mining bee, *Lasioglossum pauxillum*, which has Nationally Scarce (Notable a) status, meaning that it has been recorded from a limited number of 10km squares nationally. In Essex there are few records, but its known distribution is expanding and it is likely to be under-recorded as yet. It receives no special protection in legal or planning terms.

The only other species of any note was Slender Groundhopper, a nationally "Local" species that has been under-recorded and now appears to be widespread throughout Essex in appropriate habitat. While the hoverfly *Syrphus torvus* is common and widespread in Britain as a whole, it is uncommon in Essex. It is likely that it is under-recorded because of its similarity to two very common species.

As would be expected, the majority of the species recorded are associated with wetland habitats or are less specific in their requirements. Amongst the hoverflies there is a bias towards the generalist, aphid feeding species and those associated as larvae with wet ground and decomposing vegetation. The dead wood species and plant specific aphid feeders are largely absent.

Many of the bees and wasps recorded during the survey (including *Lasioglossum pauxillum*) are ground nesters, requiring sunny patches of dry ground in which to construct their nesting burrows. No habitat of this sort is present on the site suggesting that these insects originate in neighbouring gardens or the adjacent playing field. It also suggests that they are being attracted to the site by flowers that provide their food.

# Appendix 6

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## Conclusions

### Protected Species

#### Reptiles

No further action is required as far as reptiles are concerned.

#### Birds

The site supports a variety of bird species many of which will be nesting within the bushes and trees of the site itself or in adjoining gardens. All birds' nests are protected by the Wildlife and Countryside Act 1981 (as amended), making it an offence to damage or destroy nests while they are being built or are occupied. The main implication of this is that any clearance of vegetation should be planned to occur outside of the main breeding season, i.e. between August and February. If any clearance is required within the breeding season, the vegetation in question must be checked for nests by a suitably qualified ecologist before it can be removed (if none is present).

#### Bats

As suggested in the previous report, any work affecting the large trees on the site would require an assessment of bat activity. Although there is no evidence to suggest that bats are using The Centre, any development work affecting the roofs should be completed with care by responsible contractors (this applies to any roofing work). Should bats be found, work should stop and specialist advice be sought.

#### Other Implications

It should be restated that the presence of Japanese Knotweed requires specific measures and precautions by way of its classification as "controlled waste" in the Environmental Protection Act 1990.

**There are no other ecological factors of planning significance on the site, but the survey has reinforced the local importance of the site in conjunction with the surrounding gardens**

Ideally monitoring will be ongoing depending on the timeframe for development proceeding. Any developer should provide evidence, as part of their planning application, that further up to date checks have been carried out on ecology issues prior to development, particularly to check for bat roosts and bat feeding grounds.



# Appendix 6

## Plant Species recorded during survey

### Grasses and Horsetails

Agrostis stolonifera	Creeping Bent-grass
Arrhenatherum elatius	False Oat Grass
Bromus sterilis	Barren Brome
Equisetum telmateia	Giant Horsetail
Holcus lanatus	Yorkshire Fog
Phleum pratensis	Timothy
Poa annua	Annual Meadow Grass
Poa pratensis	Smooth Meadow Grass
Poa trivialis	Rough Meadow Grass

### Herbs

Achillea millefolium	Yarrow
Aegopodium podagraria	Ground Elder
Alliaria petiolata	Garlic Mustard
Allium ursinum	Ramsons
Anthriscus sylvestris	Cow Parsley
Arum maculatum	Cuckoo Pint
Bellis perennis	Daisy
Cerastium fontanum	Common Mouse-ear
Chaemanerion angustifolium	Rosebay Willowherb
Cirsium arvense	Creeping Thistle
Cirsium vulgare	Spear Thistle
Convolvulus arvensis	Field Bindweed
Epilobium hirsutum	Great Hairy Willowherb
Fallopia japonica	Japanese Knotweed
Galium aparine	Goosegrass
Geranium dissectum	Cut-leaved Crane's-bill
Hedera helix	Ivy
Helleborus foetidus	Stinking Hellebore
Lamium album	White Deadnettle
Lemna minor	Common Duckweed
Leucanthemum vulgare	Ox-eye Daisy
Medicago arabica	Black Medick
Narcissus spp	Daffodils
Pentaglottis sempervirens	Green Alkanet
Plantago lanceolata	Ribwort Plantain
Primula vulgaris	Primrose
Ranunculus acris	Meadow Buttercup

Ranunculus ficaria	Lesser Celandine
Ranunculus repens	Creeping Buttercup
Rubus fruticosus	Bramble
Rumex obtusifolius	Broad-leaved Dock
Solanum dulcamara	Bittersweet
Symphytum orientale	White Comfrey
Taraxacum agg,	Dandelion
Trifolium repens	White Clover
Urtica dioica	Nettle
Veronica hederifolia	Ivy-leaved Speedwell

### Trees and Shrubs

Acer pseudoplatanus	Sycamore
Aesculum hippocastanum	Horse Chestnut
Cornus sanguineum	Dogwood
Corylus avellana	Hazel
Crataegus monogyna	Hawthorn
Fraxinus excelsior	Ash
Ilex aquifolium	Holly
Laburnum anagyroides	Laburnum
Prunus domestica	Bullace
Prunus laurocerasus	Cherry Laurel
Sambucus nigra	Elder
Taxus baccata	Yew
Ulmus procera	Elm

# Appendix 6

## Invertebrate species recorded during survey

### Mollusca

Aegopinella nitidula  
Arion ater  
Arion hortensis  
Cepea hortensis  
Cepea nemoralis  
Cochlicopa lubrica  
Discus rotundatus  
Dorocera reticulates  
Limax maculatus  
Oxychilus draparnaudi  
Trichia hispida

### Woodlice

Armadillidium vulgare  
Oniscus asellus  
Philoscia muscorum  
Platyarthrus hoffmannseggi  
Porcellio scaber  
Trichoniscus pusillus

### Odonata

Calypteryx splendens	Banded Demoiselle
Coenagrion puella	Azure Damselfly
Ischnura eligans	Blue-tailed Damselfly
Pyrrhosoma nymphula	Large Red Damselfly

### Orthoptera

Pholidoptera griseoaptera	Dark Bush Cricket	
Tetrix subulata	Slender Groundhopper	Local

### Dermaptera

Forficula auricularia	Earwig
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### Mecoptera

Panorpa communis	a scorpion fly
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### Lepidoptera

Aglas urticae	Small Tortoiseshell
Celastrina argiolus	Holly Blue
Nemophora degeerella	a longhorn moth
Pieris rapae	Small White

### Diptera

Argyra diaphana	a stilt-legged fly
Baccha elongata	a hoverfly
Beris chalybata	a soldier fly
Bibio marci	a bibionid fly
Cheilosia albitarsis s.l.	a hoverfly
Cheilosia illustrata	a hoverfly
Chloromyia Formosa	a soldier fly
Chrysopilus cristatus	a snipe fly
Epistrophe eligans	a hoverfly
Episyrphus balteatus	a hoverfly
Eumerus funeralis	a hoverfly
Eupeodes luniger	a hoverfly
Helophilus pendulus	a hoverfly
Melanostoma mellinum	a hoverfly
Merodon equestris	a hoverfly
Myathropa florea	a hoverfly
Neoascia podagrica	a hoverfly
Phytomyza ranunculi	a leaf mining fly
Pipiza noctiluca	a hoverfly
Platycheirus peltatus	a hoverfly
Platycheirus scutatus	a hoverfly
Sphaerophoria scripta	a hoverfly
Syrphus ribesii	a hoverfly
Syrphus torvus	a hoverfly
Syrphus vitripennis	a hoverfly
Volucella bombylans	a hoverfly
Xanthogramma pedissequum s.l.	a hoverfly
Xylota segnis	a hoverfly



# Appendix 6

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## Hymenoptera

Aceria cephaloneus	a gall wasp	
Ancistrocerus gazella	a mason wasp	
Andrena scotica	a mining bee	
Andrena subopaca	a mining bee	
Anthophora plumipes	Hairy-footed Flower Bee	
Bombus lucorum	White-tailed Bumblebee	
Bombus terrestris	Buff-tailed Bumblebee	
Cerceris rybyensis	a digger wasp	
Chelostoma florisomne	a solitary bee	
Lasioglossum pauxillum	a mining bee	Nationally Scarce (Na)
Lasius niger	Garden Ant	
Nomada panzeri	a nomad bee	
Nomada ruficornis	a nomad bee	
Oxybelus uniglumis	a digger wasp	
Sphecodes puncticeps	a cuckoo bee	

## Coleoptera

Cantharis rustica	a soldier beetle	
Clytus arietis	Wasp Beetle	
Coccinella 7-punctata	7-spot Ladybird	
Propylea 14-punctata	14 Spot Ladybird	
Pyrochroa serraticornis	a cardinal beetle	

## Arachnida

Misumena vatia	a crab spider	
Pisaura mirabilis	a nursery web spider	

# Appendix 7

## Public Consultation

### The Consultants

These are listed in the Introduction of the Brief item 1.1.

### Informal discussions & Contacts

Contacts were made with the following people by the Built Environment Branch during the preparation of the Brief:

Mr Cooke, Mr B Fleet, Mr M Fleet, Agents for NatWest Bank, Spurdawn Investments Ltd Owner of 45 High Street & garages in Gatehouse Yard, Chairman of the Halstead Chamber of Commerce and former Mayor of Halstead, Michael Gage.

### Presentations by Built Environment Branch ECC

08/06/04 Presentation to meeting of Halstead Area Committee of Braintree District Council

09/09/04 Presentation to meeting of Halstead Town Council

### BDC List of external consultations

Sir/Madam	Transco BG	Network Support Manager	East Anglia District	Padholme Road Peterborough	PE1 5XR
Sir/Madam	Ancient Monuments Society	Vestery Hall	2 Church Entry	London	EC4V 5HB
Sir/Madam	Victorian Society	1 Priory Gardens	Bedford Park	London	W4 1TT
Sir/Madam	Society for the protection of Ancient Buildings	37 Spital Square		London	E1 6DY
Sir/Madam	Georgian Group	6 Fitzroy Square		London	W1P 6DX
Sir/Madam	Council for British Archaeology	Bowes Morrell House	Walmgate	York	YO1 2UA

Sir/Madam	Area Transportation Manager	ECC Highways Transportation & Operational Services	3 Twyford House 81 High Street	Great Dunmow	Essex
Sir/Madam	Environment Agency	Eastern Area	Cobham Road	Ipswich	Suffolk
Sir/Madam	Anglian Water	Marketing & Planning	PO Box 104	Spalding	Lincs
M Stallon/J Hobbs	Historic Buildings & Conservation Areas	Essex County Council	County Hall	Chelmsford	Essex
Sir/Madam	24 Seven Utility Services	NRSA Dept	Fore Hamlet	Ipswich	Suffolk IP3 8AA
Sir/Madam	English Heritage	East of England Region	24 Brookland Avenue	Cambridge	CB2 2BU
Sir/Madam	Archaeology Department	Essex County Council	County Hall	Chelmsford	Essex
Sir/Madam	English Nature	Harbour House	Hythe Quay	Colchester	Essex
Mr Bartley	Public Rights of Way	ECC Area Highways Office (north east)	Park Road	Colchester,	Essex
Councillor Mrs Beavis		Monroe House	Swan Street	Sible Hedingham	Essex
Councillor S Bolter		Wickham House	Pot Kiln Chase	Gestingthorpe	Essex
Councillor R J Bolton		Elstree	Birdbrook	Halstead	Essex
Councillor B Broyd		31 Braintree Road	Gosfield	Halstead	Essex
Councillor Mrs Catley		15 Nether Court		Halstead	Essex
Councillor Collar		Kenwood The Street	Sturmer	Haverhill	Suffolk
Councillor Mrs B Gage		3 Bois Hall Gardens		Halstead	Essex
Councillor M Gage		3 Bois Hall Gardens		Halstead	Essex



## Appendix 7

Councillor Gaught		20 Tey Road		Earls Colne	Essex	The Occupier	3 -13 The Centre	Off High Street	Halstead	Essex
Councillor Harley		Simpsons Farm	Pentlow	Sudbury	Suffolk	The Occupiers	1 -16 Factory Terrace	Factory Lane East	Halstead	Essex
Councillor McCrea		Street Farm	Ashen	Sudbury	Suffolk	The Occupier	Bramble Cottage	Factory Lane East	Halstead	Essex
Councillor Mrs Pell		The Street				The Occupier	Ivy Dene	Factory Lane East	Halstead	Essex
Councillor Pilgrim		7 Highfields		Halstead	Essex	TheOccupiers	1 – 6, 13 -16 Vicarage Meadow		Halstead	Essex
Councillor Mrs Scattergood		Little Hickbush Lane	Great Henny	Sudbury	Sudbury	The Occupiers	1 - 10,12,12B,19 Parsonage Street		Halstead	Essex
		3 Highfields		Halstead	Essex	The Occupier	The Manse	Parsonage Street	Halstead	Essex
Councillor Shelton		21 Morleys Road		Earls Colne	Essex	The Occupier	St Andrews Hall	Parsonage Street	Halstead	Essex
Councillor Mrs Spray		Abbotts Hall Farm		Colchester	Essex	The Occupier	The Vicarage	Parsonage Street	Halstead	Essex
Mr P Sturgess	Essex Wildlife Trust		Great Wigborough			The Occupiers	21,45,47,49,51,53,55,57,59,61,77,79,81,83,85,87,89 Parsonage Street		Halstead	Essex

### BDC List of neighbour notification letters sent

The Occupiers	1,3,5,7,9,11,13 High Street		Halstead	Essex	The Occupier	98 & 100 Parsonage Street		Halstead	Essex
The Occupier	White Hart 15 High Street		Halstead	Essex	The Head	Richard De Clare School	Parsonage Street	Halstead	Essex
The Occupiers	17,19,21,23,25,27,29,31,33,35,37,39 High Street		Halstead	Essex	The Occupier	The Globe	Parsonage Street	Halstead	Essex
The Occupiers	41,43,45,47,49,51,53,55,57,59,60,63 High Street		Halstead	Essex	The Occupiers	1 – 14 Parsons Court	Parsonage Street	Halstead	Essex
The Occupiers	65,67,69,71,73,75, High Street		Halstead	Essex	The Occupier	The House	St Andrews Road	Halstead	Essex
The Occupiers	95,97,99,101,103,105,107 High Street		Halstead	Essex	The Occupiers	1- 7 St Andrews Road		Halstead	Essex
The Occupier	Fleet House 67B High Street		Halstead	Essex	The Occupiers	11 – 14 St Andrews Road		Halstead	Essex
The Occupier	Gate House Cottage	Gate House Yard	Halstead	Essex	The Occupiers	1 – 29 Symonds Court	St Andrews Road	Halstead	Essex
					The Occupiers	1 -9, 11,13,15,17 Weavers Court		Halstead	Essex
					The Occupiers	1 – 6 Croft House	Parsonage Street	Halstead	Essex

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The Occupiers	17,19,21,23,25,27, 29,31	Mallows Field	Halstead	Essex	<b>BDC internal consultations</b>	
The Occupiers	1 &2 Garden Yard	Parsonage Street	Halstead	Essex		
Mr Jermyn	Ipswich & Norwich Co-op Society	(Estates) 38 Carr Street	Halstead	Essex		
Chairman	Factory Lane East Residents Association	10 Factory Terrace	Halstead	Essex		
Sir/Madam	Salvation Army Housing Association	18 Thanet Street	London	WC1H 9TL		
Sir/Madam	Spurdown Investments Ltd	Cumberland House 24/26 Baxter Avenue	Southend-on-Sea	- SS2 6HZ	R Heard	Community Services
Peter Anson		39 Clarence Street	Southend-on-Sea	Essex	T Lucas/J Albin	Housing & Research
Maurice Lake		52 Ramsey Road	Halstead	Essex	Simon Tayor	Car Parks Manager
Julie Lake		7 Conway Lane	Halstead	Essex		
Mr & Mrs Bowes	Cracks Hill House	Craigs Lane	Mount Bures	Sudbury, Suffolk		
Mr Leeks	GVA Grinley (Chris Leeks) Natwest Bank	31 High Street	Halstead	Essex		
Mr Fleet		60 London Road	Braintree	Essex		
Sir/Madam	Lucaspride Ltd	13 Radnor Walk	London	SW3 4BP		
Mr and Mrs McGuinness		53 Colchester Road	Halstead	Essex		
Mr Cooke	GE Cooke & Sons	2 York Road	Earls Colne	Essex		
Mr A Richardson	Council Offices The Mill House	The Causeway	Halstead	Essex		





# Appendix 7

## Braintree District Council Halstead Area Committee Meeting 21 December 2004 – Report and minutes



<b>Report To/ Decision Making Body:-</b> <b><u>HALSTEAD AREA COMMITTEE</u></b>	<b>Date of Meeting:-</b> <b><u>21 DECEMBER 2004</u></b>	<b>Agenda Item:-</b>
<b>Title of Report:- Land to the East of the High Street, Halstead – Development Brief</b>		
<b>Wards Affected:-</b>	<b>Background Papers:-</b>	
<b>Financial Implications:-</b> <b>Proposals are linked to the re-development of the site which includes land in the Council's ownership</b>	<b>Policy Implications:- As set out in the Report and Development Brief</b>	
<b>Sustainability Implications:- As set out in the Development Brief</b>	<b>Equalities Implications:- None</b>	

### 1. PURPOSE OF REPORT

To consider the result of public consultation and amendments to the Development Brief prior to its adoption.

### 2. CONSULTATION

#### Policy

Review Local Plan Policy RLP 121 identifies the site as a comprehensive development area. The policy states that mixed uses on this site should include shopper's car parking. It also

indicates that a Development Brief is to be agreed with the Council prior to the commencement to any development. Once approved it was proposed that the Development Brief would have a status of supplementary planning guidance providing a framework against which to assess planning applications for the area. It would complement existing Development Plan policies, Supplementary Planning Guidance and National Planning policy. In addition, it will provide developers with a degree of certainty and as such may assist in a site assembly and bringing the site forward for development.

Members may be aware that the Planning and Compulsory Purchase Act has introduced changes to Development Plans. Supplementary Planning Guidance has now been replaced with Supplementary Planning Documents. The procedure for producing such documents involves an increased publicity period and they are also required to incorporate a statement of conformity with the Council's Statement of Community Involvement and a sustainability appraisal. Where prepared, supplementary planning documents should be included in the local development framework and will form part of the planning framework for the area, however, they are not part of the statutory development plan, but supplemental to relevant development plan document policy.

#### Background

Members will recall that at the 8<sup>th</sup> June 2004 meeting of the Halstead Area Committee approval was given to publish the Draft Development Brief for the Land East of the High Street Halstead. A copy of the Brief was placed on deposit at the planning reception at Causeway House and at the Council's Area Office in Halstead for a period of 5 weeks commencing 16<sup>th</sup> August 2004. Site notices were displayed around the site and an extensive neighbour notification of adjoining properties was undertaken along with publicity in the local press. In addition consultations were undertaken with interested parties and consultees both internal and external.

An exhibition was also placed on display at the Halstead Area Office during the deposit period and a presentation was made to Halstead Town Council.

#### Consultations

A summary of the responses can be found in the Appendix setting out the general comments and issues raised in brief the key responses were;

Housing Services – support the Development Brief.

Environment Agency – provided advisory comments and were generally supportive of the Brief's approach to sustainability issues.



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Essex County Council Archaeology – confirms the potential archaeological and historical importance of the site and the measures needed to integrate these into any future redevelopment. In addition, they suggest that English Heritage should be consulted regarding the World War II air raid shelters in order to see if they should be afforded statutory protection as a Schedule Ancient Monument. If English Heritage decide they are not of national importance they would support the retention of as many of the structures as possible. Overall they are generally supportive of the principles behind the scheme.

Essex County Council Highways and Transportation – raise no objections but have made advisory comments. They have also indicated that the access via The Centre has very limited pedestrian facilities and is quite a sub-standard road.

Environmental Services – are supportive of the Brief but have made advisory comments covering ownership and responsibility for the allocated parking areas, restrictions to ensure live/work units are owner occupied and that suitable areas should be included for both waste recycling, storage and collection.

Landscape Services – raise no objections but have made some advisory comments regarding landscaping, arboriculture and ecology. In addition, they have advised that a further ecological assessment should be carried out over a 12 month period.

## Representations

A summary of representations made, responses and any action required is set out in this Appendix

Representations have been received from the Halstead Residents Association, land owners, adjacent land owners and neighbouring residents, and other interested parties. The representations not only included a number of specific objections to particular aspects of the Brief but also statements of support.

In response to some of the matters raised in representations specific action points have been noted in the 'action column' to clarify matters in the Brief. However, some of the action points are more general and suggest that the layout could be looked at again for example in relation to issues around 1 and 2 Vicarage Meadow.

## Conclusions

In general it is considered that the response to the publicity of the Brief has been positive and encouraging. A number of issues have been raised and some amendments to the Brief will be required as set out in the 'action points' contained in the Appendix.

The intention is that the Brief will form a development framework which will guide the detail and content of future negotiations and planning applications for the site. In this respect it is considered that the Brief should therefore go forward for adoption by the Council subject to

the amendments set out in the 'action column' of the Appendix. It is suggested that with regard to some of the specific issues raised that the Brief should be amended as follows:-

With regard to the air raid shelters it is noted that English Heritage were consulted on the Brief but to date have not responded to the consultation. Further consultations have been undertaken to ascertain whether the structures should be protected as Scheduled Ancient Monuments. The initial verbal response is that this is unlikely. On the basis that English Heritage confirm that the structures should not be afforded statutory protection, it is recommended the Brief should remain unchanged on this matter, provided that two are retained for historical record.

With respect to the matters of land ownership it is suggested that the specific issues raised be incorporated in the Brief so that they can be addressed through appropriate negotiations by potential developers.

Concerns regarding the layout proposed around the gardens of both 1 and 2 Vicarage Meadows are noted. It is suggested that the layout could be amended in this area, however any significant changes may effect the viability of the development proposals. It is therefore suggested that minor changes to the layout should be incorporated but that it is also appropriate that the Brief makes reference to the particular concerns of the two residents. It should indicate that any detailed proposals should take these matters into account and demonstrate that proposals are able to comply with the standards and criteria set out in development plan policies and in particular the Essex Design Guide.

Finally, as mentioned in the Policy section above the Brief will need to include a Statement of Conformity with the Council's Statement of Community Involvement and a Sustainability Appraisal. These can be included in the recommended amendments.

## 3. RECOMMENDATION(S) FOR DECISION

It is recommended that subject to the amendments set out in the conclusions above the Area Committee approve the Development Brief as a Supplementary Planning Document.

<b>Date report prepared:-</b>	<b>07 December 2004</b>
<b>Author(s):-</b>	<b>Adam Davies</b>
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## APPENDIX: Schedule of Responses

	Respondent Consultees	Comment	Response	Action
001	Environment Agency: Martin Barrell	<p>1. Found brief to be generally comprehensive in its coverage of sustainability issues and they fully support this approach.</p> <p>2. They support section 4.2 of the brief on sustainability and the emphasis on water conservation measures.</p> <p>3. They endorse the positive approach to energy efficiency and the requirement to make use of passive solar gain.</p> <p>4.They support recycling targets and the provision of storage in residential units</p> <p>5. Provision should be made for the collection of recyclables from commercial units.</p> <p>6. Any developer will be required to demonstrate that the development will not lead to an increase in surface water run off.</p> <p>7. They supported the information included regarding Biodiversity on the site and the comprehensive surveys that have been undertaken.</p> <p>8. They support the requirement to retain and enhance existing natural features. Semi-natural habitats and green spaces on site should be linked to features off site to create green corridors.</p>	<p>1. Noted</p> <p>2. Noted</p> <p>3. Noted</p> <p>4. Noted</p> <p>5. Noted</p> <p>6. Section 4.6 of the brief stipulates that the developer should undertake site investigations and make proposals for managing ground water seepage and run off in a sustainable way.</p> <p>7. Noted</p> <p>8. The Green Space Network plan on page 29 of the brief shows the relationship of green spaces on and off site.</p>	<p>1. None</p> <p>2. None</p> <p>3. None</p> <p>4. None</p> <p>5. Insert the Clause on page 26 of the brief in the description of the commercial development</p> <p>6. None at present but proposals should be made by the developer as part of any planning application.</p> <p>7. Further checks should be carried out prior to development</p> <p>8. None</p>
002	Essex County Council Highways & Transportation: Phillip Callow.	<p>1. Despite being adopted, The Centre is quite a substandard road with inadequate pedestrian facilities and the situation needs to be addressed. Adequate pedestrian facilities are essential.</p> <p>2. Gradients for highways and associated drainage are likely to pose problems especially in areas where trees are to be retained.</p>	<p>1. Under Section 4.11, the brief includes provision for improvements to the existing footpath and steps on front of the Centre and the provision of a new pedestrian ramp to link this with the footpath along the new road. Due to the necessity of retaining existing trees and also the change in ground level, it is unlikely to be possible to provide a footpath on the southern side of the existing road. The proposed access through Gatehouse Yard will provide a level alternative link to the High Street.</p> <p>2. The road layout has taken the gradients into consideration as far as possible with the survey information available. This will have to be subject to a detailed level survey by the developer.</p>	<p>1. None</p> <p>2. None</p>



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	Respondent	Comment	Response	Action
003	Essex County Council Heritage Advice Management and Promotion Team of the Historic Environment Branch: Vanessa Clarke	3. The access via St. Andrews Road is more straight forward and the requirements can be conditioned at the time of an application. To enable public access and adoption of the new length of road to take place. The ownership of the existing road will need to be transformed from Braintree District Council.	3. Noted	3. None at present
		4. Cycle parking provision should be in accordance with the "Vehicle Parking Standards" published by Essex Planning Officers Association.	4. This standard will be expected.	4. Mention is made of cycle parking in 4.9 but this clause can be added to section 4.10 of the brief to clarify.
		1. Thriving communities are vital for the long-term well being of the historic environment so on the whole they welcome the scheme, however the scheme should be mindful to consider the wider historic environment.	1. Noted	1. None
		2. Halstead is of archaeological and historic importance and the potential for below ground archaeological deposits to survive is high. Previous recommendations on archaeological evaluation have been given. On the basis of the results, preference should be given to preserving any remains in situ via a design solution otherwise the impacts of development should be mitigated by excavation.	2. The requirements for evaluation by trial trenching have been included in section 4.7 and appendix 3 of the brief.	2. The following clause could be added to section 4.7: On the basis of the results of the evaluation, preference should be given to preserving any archaeological remains insitu via a design solution (PPG 16,1990). If that proves to be impossible, then the impacts of the development should be mitigated by excavation. Reference to the above should also be included in 4.15 Section 106.
		3. There is a discrepancy between the advice given by ECC military archaeologist (section 3.6 of the brief) that the air raid shelters are of national importance and the brief proposals, which suggest retaining only two. English Heritage should be consulted to assess whether the structures should be afforded statutory protection as Scheduled Ancient Monuments.	3. English Heritage was included in the consultation process but did not respond. A further direct approach has been made to Deborah Priddy.	3. Await response from English Heritage.
		4. The air raid shelters should be included in the list of constraints. If English Heritage decides that they are not of national importance they would support keeping as many as possible and would encourage the provision of public access, possibly through use as a museum. Any structures proposed for demolition should be surveyed and recorded.	4. The air raid shelters are included in the list of constraints within the development brief (3.11). Provision is made in the brief for surveying and recording any shelters to be demolished.(4.8 & 4.15).	4. None

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## APPENDIX: Schedule of Responses

	Respondent	Comment	Response	Action
004	Braintree District Council Local Plan/ Forward Planning: Paul Munson	<p>1. Amendments to the Introduction: The Public Enquiry was held between April and July 2004 into objections to the Local Plan Review. Population of Halstead in the 2001 Census was 11,053.</p> <p>2. Planning Context 2.6 should this say low vacancy rate?</p> <p>3. The brief states that BDC are at present producing the Biodiversity Action Plan. Is this the case or is it being produced by ECC.</p> <p>4. Support for the brief, the level of detail, and layouts.</p> <p>5. Can a footway be provided along the southern side of the Centre road? Support for need to reconstruct existing footpath and railings at the Centre and loss of on street parking on the Centre roadway.</p> <p>6. Access through Gatehouse Yard 4.4. Although this is a useful link he does not believe this is suitable for cyclists. Highways would be able to confirm whether a cycleway access through Gatehouse Yard would pass a safety audit. The Yard needs to be well lit.</p> <p>7. He does not support the provision of a building with an archway access into Gatehouse Yard as part of the development, as the space between would become secluded and uninviting and have potential for vandalism.</p>	<p>1. Noted</p> <p>2. The wording is as the Local Plan Review.</p> <p>3. ECC ecologist confirmed that the brief is correct.</p> <p>4. Noted</p> <p>5. See response 002 ECC Highways item 1.</p> <p>6. Noted. There is a requirement for well designed lighting in the brief on page 33 section 4.9.</p> <p>7. The building with the arch will shield long distance views of the rear additions to High Street premises and provide visual enclosure to the large open space south of the Centre. It will separate this large open space containing the car park and existing trees from the more urban pedestrian scale of the Yard and provide an obvious 'gateway' through to the High Street. However at ground level there will be clear visibility into and through the Yard. Residential use of the bridging building will provide better natural surveillance over the Yard to support that provided by the existing house there. The Yard access need not be secluded and would benefit from buildings addressing the space and retaining the character and scale of the surrounding historic buildings. Appropriate lighting will be required. It is envisaged that the link from the High Street through to St. Andrew's Road will pass through a series of defined linked spaces of different size and character.</p>	<p>1. Update public enquiry reference. Add word 'Review' in 1.0 and 2.1. Amend population data.</p> <p>2. None</p> <p>3. None</p> <p>4. None</p> <p>5. None</p> <p>6. Further discussion has taken place with ECC Highways and they are prepared to undertake a safety audit shortly on using Gatehouse Yard as a pedestrian/cycle route. If there are safety issues these may be mitigated by imposing conditions, such as cyclists being required to dismount in a designated area. A sentence can be added to the brief to say that any safety conditions required as a consequence of the audit must be complied with.</p> <p>7. None</p>



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	Respondent	Comment	Response	Action
		8.The Housing Department will confirm whether they had intended facilities to be shared with Symonds House.	8. Noted	8. This issue will be decided at a later date.
		9. Support pedestrian link west of former UR Church to Parsonage St.	9. This link has been suggested in the brief but is subject to negotiation with the landowner. Objections have been received from Revd J Blore of St Andrews Parochial Church Council and from the Diocese of Chelmsford (see later details).	9. Discussions should take place with the parties.
		10. Support proposed bat roosts in retained air raid shelter.	10. Noted	10. None.
		11. Shoppers' car park – will the DC or TC be responsible for management and maintenance?	11. Noted	11. This will be decided at a later date.
		12. Opposed to any underground parking due to vandalism and crime.	12. Underground parking was only suggested as one possible scenario for the long term redevelopment of the Centre.	12. None
		13. Add reference to need for lighting designed to avoid pollution of night sky.	13. Noted	13. Add this reference to the brief.
		14. Need to maintain long-term vehicular access to the Vicarage garden, either through Phase 1 or redevelopment of the Centre.	14. Noted	14. Add this clause to the brief.
		15. Need for cycle link between the two vehicular access roads.	15. The link is proposed in the brief.	15. Clarify this in section 4.3 of the brief.
		16. Some flexibility should be retained over the mix of uses – for example if a need for more retail emerges.	16. It is intended that there should be some flexibility over mixed use depending on market conditions at the time of development. However it is envisaged that large-scale office or retail uses would be inappropriate due to the access and the scale of the existing adjacent historic environment.	16. Clarify this in section 4.1 of the brief.
005	Braintree District Council Housing Services: Tim Lucas	1. Support for the brief. For the sheltered housing to be viable at least 30 units will be necessary. It is not possible to arrange any funding to be committed until the timetable for development is known.	1. Noted	1. None
006	Braintree District Council Landscape Services: Melvyn Crow	1. Landscape Agrees with the comments made in the brief regarding landscape. The hard and soft landscape elements must be an integral part of the design process. He would not like to see a commitment to the adoption of any public space at present as there could be a more appropriate way of managing these spaces.	1. Noted	1. None at present

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	Respondent	Comment	Response	Action
007	Braintree District Council Environmental Services: Colin Batchelor	2. Arboriculture No works should be carried out on the basis of the tree report without prior consultation with BDC Landscape Services. Trees should be referred to by their common name. The brief does not identify the possible impact of the hydrological changes that will occur as a result of development of the site. The older trees are likely to be less tolerant of such changes as younger smaller trees. Before any final decisions are made on tree retention this factor needs to be considered and a climbing inspection carried out.	2. Noted	2. Add clause to the brief to stipulate consultation with BDC and need for climbing inspections to be carried out.
		3. Ecology He found no evidence that any significant species or habitat had been missed and would endorse the conclusions in the brief. Any new buildings, as well as the landscape, should make provision for wildlife, by incorporating nest boxes / bat roosts into their design. Agrees with the retention of an air raid shelter to develop as a hibernaculum for bat species.	3. Noted	3. Add clause to the brief regarding the incorporation of nesting sites in buildings.
		4. Suggests asking for a thorough ecological assessment ideally over a 12 month period. This should be followed by monitoring during the construction period and for a period post completion to assess the overall impact on species and habitat. Consultant ecologists should be engaged for the whole process and be involved during the design process.	4. Noted	4. Ideally monitoring will be ongoing depending on the timeframe for development proceeding. Detailed checks will be required prior to development particularly to check for bat roosts and bat feeding grounds.
		1. The development of this site provides a great opportunity to open up land in the centre of Halstead and to provide varied amenity.	1. Noted	1. None
		2. The parking should have clear ownership and responsibility, either directly to a property or to the management company.	2. Noted	2. None
		3. The live/work units must be tied by contract to ensure the occupier of the residential unit is also the tenant/owner of the work unit. Allocation of these units should be carried out to prevent any conflict between various occupiers.	3. Noted. It seems likely that the live/work spaces would be sold as individual units.	3. None at present.
		4. The design should ensure suitable areas and access for both waste and recycling storage and collection.	4. Noted. This is covered in the brief.	4. None.



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	Respondent	Comment	Response	Action
008	Halstead Residents' Association: Anthony De Frates	1. The Association Committee feel that the lack of a rear service road to serve the shops on the east side of the High Street is a disappointment. They feel that congestion is caused in the High Street by unloading and that the brief should be reconsidered with this in mind.	1.The provision of a rear service road was rejected for the following reasons: a. The difficulty of upgrading the Centre access road and junction with the High Street to be adequate for large vehicles. The configuration of the new road, having a tight curve to avoid existing trees and to give adequate length to achieve acceptable gradients would also not be suitable.  b. The space required for parking and turning large vehicles at the rear of the High Street buildings would be substantial and this together with the shoppers car park would result in a loss of trees with a large area of the site being cleared and hard surfaced, not accessible for pedestrians and a 'no go' area at night. This would provide an unpleasant and inappropriate setting for the historic buildings and sever the desirable pedestrian and cycle links into the High Street. c. Many of the High Street premises may be unsuitable for rear servicing and difficult to adapt due to listed status. d. The area of land given over to servicing, near to the High Street, will prohibit the use of the land for other mixed amenity, residential and business uses where natural features are retained.	1. None
Site Landowners				
009	Salvation Army Housing Assoc.: Stephen Holmes	1. SAHA supports the brief but would have liked to have had earlier consultation.  2. There has been some discussion with the housing dept in recent years about housing requirements for the area and accommodation for the elderly was looked at as one option. 3. The association has tried to have discussions with adjoining owners but with limited success. It is keen to assist in the development of the land at Halstead to provide social affordable housing. Please consult SAHA in the next stage as it can be pro-active in the process.	1. Noted  2. Noted  3. Noted	1. None  2. None  3. Consultation with SAHA in the future. Update address in the brief.

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## APPENDIX: Schedule of Responses

	Respondent	Comment	Response	Action
010	Mr & Mrs Bareham, 1 Vicarage Meadow	<p>1. They object to the brief. The site in the brief includes land owned by the Bareham's, which is part of their rear garden. They understand that they would only retain approximately 16 feet of land the rear of their house with car parking abutting the boundary. Estate agents valuations indicate that this would significantly devalue their property. Associated losses would include garaging, workshop facilities and storage provided by the two air raid shelters on their land. A large fish pond and pet graves are also in this area.</p> <p>2. The boundary proposed, namely hedging will be far from secure and will fail to afford sufficient privacy. Nor will the visual impact and noise from the development be reduced.</p> <p>3. The land level of the site rises from south to north. The location of two and three storey properties so close to the boundary will tower above their property, blocking light and invading privacy. The latter will be exacerbated by the inclusion of south facing balconies and roof terraces.</p> <p>4. There is no parking provision for the vehicles of Factory Terrace residents which will no longer be able to park between the two blocks. Neither is vehicular access provided to enable these residents to park in their rear gardens. Vehicular access to their property is frequently obstructed by parked cars in Factory Lane East.</p> <p>5. There is no provision for vehicular access to the rear of the High Street shops.</p> <p>6. Vehicular access via the Centre will exacerbate congestion in the High Street. Access via St Andrews Road will endanger users of Parsonage Street and Mallows Field which are used for parking.</p> <p>7. Pedestrian and cycle access via Factory Lane East and Vicarage Meadow will endanger pedestrians and cyclists.</p>	<p>1. The gardens of both 1 and 2 Vicarage Meadows project north – eastward into the development site. The site boundary of the development area under consideration has been shown as bisecting these gardens. The boundary is approximately 8m (26.5 ft) from the house at the closest point according to the OS plan. The illustrative layout shows residents parking for 5 cars located north of the boundary. This would be shielded by landscaping consisting of trees and bushes along the boundary fence.</p> <p>2. A sentence in section 4.9 page 35 States that 'parking areas should be screened by landscaping along the boundary'.</p> <p>3. The proposed development north – east of 1 and 2 Vicarage Meadows will be two-storey and privacy will be secured by design for the closest properties possibly precluding the use of south facing balconies in these particular situations. The space required to retain the existing large lime tree places constraints on the position of housing between the tree and the boundary.</p> <p>4. Land within the site enjoys rights of way over the land between the blocks of the terrace. The ownership of this land is unclear but parking there appears to be opportunistic and not associated with any rights to the land. The development cannot be expected to solve parking problems in Factory Terrace East over which it is having no vehicular traffic impact. Eight parking spaces have been provided for the residents of Vicarage Meadows which also provides them with improved turning space at the end of the road.</p> <p>5. The reasons for not providing this are set out under item 008 no 1. Providing a service road would have a much greater adverse impact on adjacent residential properties.</p> <p>6. By dividing vehicular access between two routes the impact is minimised. A traffic impact assessment will be required from the developer.</p> <p>7. These links are proposed to make it easier for people to travel in and out of town and access the school without using cars.</p>	<p>1. The layout can be looked at again to see if any adjustment can be made to the proposed site boundary to increase the length of the reduced rear garden but this will be difficult due to other constraints. Any significant alteration to the layout could have an effect on the viability of the development.</p> <p>2. Boundary treatment with a fence or wall as well as landscaping can be clarified in the brief.</p> <p>3. Housing shown on the indicative layout on the south side of the square accommodating the lime tree will be shown as two storey.</p> <p>4. None.</p> <p>5. None</p> <p>6. None</p> <p>7. None</p>



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	Respondent	Comment	Response	Action
011	Mr & Mrs Barlow 2 Vicarage Meadow	8. Insufficient mature trees are to be retained in the south – east of the site.	8. Trees will be retained where possible. Most of the mature trees are in other parts of the site.	8. None
		9. The wild – life survey was conducted at an inappropriate time of year and not all the shelters were checked. Owls and bats have been observed.	9. Surveys were conducted at different times according to advice from professional consultants. Further checks for bats may be necessary prior to development.	9. None
		10. There is insufficient provision for shoppers parking given the number now unavailable behind the Centre.	10. Increased parking provision would result in the loss of important trees and amenity space on the site and adversely affect the setting of the Conservation Area.	10. None
		11. Retention of the air raid shelters alongside the walkway may encourage youths to congregate.	11. The open space would need to be well managed and will have natural surveillance from adjacent properties.	11. None
		12. If planning permission is granted the use of auger piling as opposed to driven piling should be a condition.	12. Noted	12. A clause to this effect could be added to the brief subject to constraints of site conditions.
		1. They object to the brief. The proposal reduces their rear garden to within 4m of their conservatory.	1. The boundary is approximately 10m (33ft) from the house at the closest point according to the OS plan. The position of the conservatory is not shown.	1. The layout can be looked at again to see if any adjustment can be made to the proposed site boundary to increase the length of the reduced rear garden but this will be difficult due to other constraints. Any significant alteration to the layout could have an effect on the viability of the development.
		2. Their views of St Andrews Church and the former United Reform Church will be curtailed, they want to see development at a maximum of two storeys within their sight lines.	2. Noted. Views of the former United Reform Church have been retained within the public realm.	2 . Housing shown on the indicative layout on the south side of the square accommodating the lime tree will be shown as two storey.
		3. Concern about privacy and overlooking. Development to be a minimum of 15m from the boundary.	3. The house shown on the layout to the rear of no 2 is 13m from the boundary. Privacy would be secured by design.	3. See 1 above.
		4. Object to parking adjacent to rear boundary.	4. The illustrative layout shows residents parking for 5 cars located north of the boundary. This would be shielded by landscaping consisting of trees and bushes along the boundary.	4. None
		5. Insufficient parking for shoppers and residents of Vicarage Meadow.	5. Eight spaces, one for each house fronting Vicarage Meadow, are provided.	5. None
012	Mr Michael Fleet, Interphase Electrical Services 67 High Street	6. Concerned about land drainage, surface run off and risk of flooding as a result of development. Also concerned about possible contamination of underground water.	6. Site investigations will be required from the developer and proposals for managing surface water (section 4.6).	6. None
		1. Objects to be brief as it will have a detrimental affect on his business.	1. Noted	1. Discussion will be necessary with Mr Fleet

# Appendix 7

## APPENDIX: Schedule of Responses

	Respondent	Comment	Response	Action
		2. It shows a public footpath and cycleway through his car park which is gated and locked for security.	2. The link indicated is considered desirable if it can be achieved to provide permeability through the site.	2. The route of this link is subject to negotiation and would have to be designed so as to not compromise security. Mr Fleet does not consider that this would be possible as he has a bonded store but see comment no. 05.
		3. The access to the High Street is too narrow to accommodate vehicles pedestrians and cyclists.	3. Noted	3. A safety audit would be necessary if the link was otherwise achievable.
		4. The brief shows development on land that he owns but his ownership is not acknowledged in the brief.	4. Noted. There was some confusion as adjacent land is owned by two brothers Michael and Brian Fleet.	4. Ownership is to be clarified and amended in the brief.
		5. If all of his property was included in the development of the site it would alleviate his concerns.	5. Noted	5. Discussion will be necessary with Mr Fleet.
<b>Adjacent Landowners and Residents</b>				
013	St Andrews Parochial Church Council: Rev. John Blore	The Council objects to the suggested pedestrian / cycle link from the site to Parsonage Street for the following reasons:  1. It does not want the church hall car park to become a public right of way – it may make it more vulnerable 2. The Church Hall was recently extended which leaves insufficient room for access to a link. 3. The route would not be overlooked and could invite nuisance from young people. 4. The Church uses the access gates to the garden next to the hall extension. 5. It does not wish to diminish the privacy, security and amenity of the Vicarage Garden.	1 - 5 Noted. The route is shown as desirable if it could be achieved. It could also be permissible only and able to be closed at night.	1. Discussion needs to take place with the Parochial Church Council.
014.	Strutt & Parker, Coval Hall, Chelmsford - Agents for the Diocese of Chelmsford	1. The Diocese objects to the brief.  2. The Vicarage Garden has been excluded from the Land Ownership Plan.  3. The brief delineates a public right of way along the eastern boundary of the Vicarage.  4. The agents are willing to meet to discuss the issues.	1. Noted  2. The Land Ownership plan shows ownership of land within the development site together with rights of way and vehicular access to that land. As the Vicarage garden is not included in the development area ownership has not been shown. 2. The brief does not suggest that there is an existing right of way. It suggests that this would be desirable if it can be negotiated with the landowner – perhaps as a permissible route. 4. Noted	1. None  2. None  3. None  4. Discussions should take place.



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## APPENDIX: Schedule of Responses

	Respondent	Comment	Response	Action
015	Factory Lane East Residents Association: Tim Malyon Chairman	<p>The Association objects to the brief for the following reasons:</p> <p>1. Brownfield site The description in the brief as a Brownfield site is contrary to the Secretary of State's definition.</p> <p>2. Conservation Area This parcel of land contributes as much to the history and character of the town as the listed shops and houses that surround it. The Council will be aware of the Grade 2* listed status of Factory Terrace and the air raid shelters, the Conservation Area that surrounds it, and the legislation under which LAs are responsible for preservation of listed buildings and their settings. The Assoc. considers that the development will not preserve and enhance the setting of the listed building nor the Conservation Area. It objects to the demolition of the listed structures.</p> <p>3. Noise Pollution Trees on the site providing an acoustic barrier between the High Street and residential areas. The lime tree has regional botanical Significance.</p> <p>4. Privacy Due to the size of the windows in the listed terrace and the slope of the site the privacy of residents of Factory Lane East and Vicarage Meadow will be compromised.</p> <p>5. Traffic Congestion Contribution to existing congestion in the High Street, Mallows Field and Parsonage Street.</p> <p>6. Drainage and the Flood Plain The site provides a natural soakaway at present. and hard surfacing would contribute to flooding.</p> <p>7. Quality of Life Fear that development would potentially reproduce problems with anti-social behaviour experienced at the front of their properties. The site provides play space for local children.</p>	<p>1. The site is described as 'mostly a Greenfield site' (see 3.2) but the site does include The Centre, which is developed, and the air raid shelters.</p> <p>2. The site is identified in the Local Plan Review as a Comprehensive Development Area. The development brief identifies how the site can be developed to be integrated into the town network while retaining and enhancing its most important natural assets in a series of linked open spaces. Existing trees have been incorporated into the layout wherever possible to retain the green setting. Some of the air raid shelters, which are proposed for demolition, were within the curtilage of Factory Terrace when it was listed and for this reason were included in the listing. Factory Terrace is listed Grade 2.</p> <p>3. See previous response regarding retention of trees. It is proposed to keep the lime tree within open space. Some small private parking areas are located adjacent to the southern boundary but generally gardens and open spaces abut it.</p> <p>4. Some of the blocks north of Factory Terrace are at right angles to it preventing the problems of overlooking. Parallel blocks are generally 15m from the boundary and two storeys in height. Blocks to the rear of 1 &amp; 2 Vicarage Meadow are slightly closer (see 011 &amp; 012 above) but privacy will be secured by design.</p> <p>5. By dividing vehicular access between two routes the impact is minimised. A traffic impact assessment will be required from the developer.</p> <p>6. Site investigations will be required from the developer and proposals for managing surface water. ( section 4.6)</p> <p>7. Noted</p>	<p>1. None</p> <p>2. None</p> <p>3. None</p> <p>4. The indicative layout will show 2 storey development on south side of the square with the lime tree.</p> <p>5. None</p> <p>6. None</p> <p>7. None</p>

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## APPENDIX: Schedule of Responses

	Respondent	Comment	Response	Action
016		8. Wildlife Will have an adverse effect on flora and fauna on the site. Wildlife includes deer, kestrels, owls, amphibians and bats. It provides a nesting area for songbirds and the birds of prey. Residents have seen bats feeding in and around the woodland at certain times of year.	8. Monitoring of the site has been undertaken by EECOS and the brief contains their reports. Bat roosts have not been found but it will be necessary to have a further assessment of any large trees affected by the development.	8. Ideally monitoring will be ongoing depending on the timeframe for development proceeding. Detailed checks will be required prior to development particularly to check for bat roosts and bat feeding grounds. Any clearance of vegetation should be outside the breeding season for birds as stipulated in the brief.
		9. Green lung The site acts as a counterbalance to pollution caused by heavy traffic	9. Noted. It is intended to retain mature trees where possible as identified on the illustrative layout.	9. None
		10. Historic importance The historical importance of the group of air raid shelters.	10. Management and maintenance of the air raid shelters would be a major issue if retaining them. Due to the other constraints of the site it may prove unviable to develop if all the shelters were retained.	10. Awaiting feedback on consultation with English Heritage.
	Individual residents of Factory Lane East:	1. Individuals agree with representations of the Factory Lane East Residents Assoc. in opposing the development particularly regarding loss of trees and wildlife, traffic issues, surface water flooding and demolition of the air raid shelters. Other points from individuals include:	1. See response in 015	1. See previous in 015
	Brett Steed Bramble Cottage Factory Lane East	2. If the land is developed will the developers have to adhere to the brief and not make any adverse changes?	2. If the brief is adopted as SPD this should safeguard the development principles.	2. None
	Frances Hiltzbrich Ivydene Factory Lane East	3. Lack of direct consultation with residents prior to the brief.	3. Noted	3. Consultation in future.
	(Cont'd...) Richard & Clare Smith 2 Factory Terrace	4. Why don't plans show a planted buffer zone to help alleviate overlooking and security? 5. The proposed pedestrian/cycle access between 6 and 7 Factory Terrace will increase anti social behaviour. It will cause a security issue as it gives access to an unlocked right of way across all gardens at the rear of Factory Terrace. This access is used for residents parking at the moment as there is only space for 5 vehicles in Factory Terrace East.	4. It is envisaged that planting would be provided along the boundary. 5. The access is open at the moment and would possibly be more secure with lighting and secure garden walls to numbers 6 & 7 as included in 4.15 Section 106.	4. This could be clarified in the brief. 5. None
	Luke Whitnell 3 Factory Lane East	6. Clear up and preserve the area and provide a nature walk. Create a small nature reserve/heritage site.	6. Noted	6. None
	Michael Park 5 Factory Lane East	7. Nesting swifts are present at certain times of the year.	7. Noted	7. See previous regarding nesting birds.
	Vicki Weitz 8 Factory	8. Is there a need for more commercial/office space in Halstead? 9. Parking provision should be 2 cars per household.	8. It appears that there is a need for small purpose built commercial/office accommodation. 9. This is not in accordance with parking guidance particularly in a town centre location.	8. None 9. None



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## APPENDIX: Schedule of Responses

	Respondent	Comment	Response	Action
	Terrace	10. No parking provision is included for Factory Terrace.	10. The development does not have an affect on parking in Factory Lane East as there is no vehicular access to the site from here. The situation remains the same.	10. None
	Jason Francis 11 Factory Terrace	11. The grain of new development does not match that of the town. The crescent layout is not seen in the surrounding area.	11. The curved nature of the roads is to achieve workable gradients and to avoid existing trees. The scale of new development is intended to be in keeping with the existing fabric of the town.	11. None
	Jena Malyon 12 Factory Terrace			
	Janet Mellon 13 Factory Terrace	12. Traffic in the road to the Centre is already a problem without access to the site.	12. Noted	12. None
	Barry & Susan Billings 15 Factory Terrace	13. Suggest alternative development sites in Factory Lane West and Broton Trading Estate	13. Noted	13. None
017	Individual residents of Vicarage Meadow ( see 010 & 011 for comments by residents of numbers 1 & 2):	These residents object to the brief making the following additional points:  1. Loss of peace and quiet, trees and wildlife.  2. Do not like the idea of a pedestrian / cycle access along Vicarage Meadow. Safety of children at play, security and anti social behaviour are cited as reasons.	1. Noted   2. A right of way already exists to access the site. The number of pedestrians and cyclists likely to use the route is not likely to be disruptive. Vehicular access remains the same.	1. None   2. None
	Syvia Williamson 3 Vicarage Meadow			
	Mary Porcher 4 Vicarage Meadow	3. The schools are full so where will extra children be placed? 4. Resident of no 6 would rather have the eight parking spaces moved to the side of their garden than have the gardens of new houses abutting it.	3. This will be safeguarded in the Section 106 agreement. 4. Residents have made an unofficial parking area on the site in this position. However this takes up too much of the developable area, would make the parking too prominent and does not give built frontage along the new road.	3. None at present 4. None
	Chris Benson 6 Vicarage Meadow			
	Robert Adam 14 Vicarage Meadow			
018	High Street: John Drake 58b High Street	1. Objects to the brief  2. Suggests service road at rear of High Street properties. 3. Agrees with low cost and business premises but hope that adequate parking is provided. 4. Suggests provision of CCTV.	1. Noted  2. See previous response in 008.1 3. Noted 4. Noted	1. None  2. None 3. None 4. None at present

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## APPENDIX: Schedule of Responses

	Respondent	Comment	Response	Action
019	Individual residents St Andrews Road:  Grace Calvo 23 Symonds Court  Cyril Deal 7 St Andrews Road  Doreen Beckett 15 Symonds Court	1. These residents support the brief. It will provide a more direct route to town for the elderly at Symonds Court.	1. Noted	1. None
<b>Other Representations</b>				
020	Hopkins Homes Ltd: Neil Griffiths	<p>1. Based upon the illustrative layout the density is too low for a town centre redevelopment site and there is an over provision of public open space which will affect the net developable area and will question the viability of the overall scope of the proposed development</p> <p>2. The suggestion of affordable i.e. sheltered accommodation, including live/work units, is excessive as it equates to 36.7% of the overall development scope. The local plan states 30%, which should be negotiable bearing in mind the brownfield nature of the site and the technical and financial constraints.</p> <p>3. There is no requirement for retail use in this location and the brief should consider the likely demand for any commercial use and provide sufficient flexibility to react to market conditions. Further investigation is required to establish the need and the viability of the live/work units.</p>	<p>1. There is a high provision of public open space but this is necessary to accommodate the constraints of the site, namely the beech and other TPO trees south of the centre, the large lime tree which requires the space as shown around it and also, on the east side, space required for sustainable drainage, for surface water seepage, within the landscape. Additional open space is also required in order to retain two air raid shelters. Some of the open space could provide private amenity space for the flats. The density for residential development in the brief is specified within the range of 35 to 55 units per hectare but based on the illustrative layout the upper end of this range should be achievable. This will of course depend on the mix of unit sizes and the amount of sheltered housing, which is shown with less than 100% parking.</p> <p>2. The brief concurs with the Local Plan setting the provision of affordable housing at 30% (section 4.15). It is not envisaged that the live/work units would be part of this provision.</p> <p>3. It is agreed that the mix of uses will be to some extent dependent on market forces at the time of development and that further investigation of the viability of the live/ work units may be required at this time.</p>	<p>1. None until discussions with a developer are possible.</p> <p>2. None</p> <p>3. The need for flexibility is to be clarified in section 4.1 of the brief (see 004 item 15 above).</p>



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## APPENDIX: Schedule of Responses

	Respondent	Comment	Response	Action
		4. The commercial aspects of the development must be put into context bearing in mind the multi ownership and all the outstanding technical issues that will need to be resolved to make this project come to fruition.	4. This site does have many constraints which may make the commercial viability of development difficult to achieve. However due to the prominent location in the centre of historic Halstead and partly within the Conservation Area, it is critical that development is of high quality and addresses the context and the constraints.	4. None
021	David Oswick FRICS 5/7 Head Street Halstead	1. He is a member of the Essex Bat Group and saw no evidence of bats when examining roof spaces during work at 8/10 The Centre.	1. Noted	1. None
		2. Considers the road to The Centre is unsuitable as an access to the new development due to its width.	2. Discussions have taken place with ECC Highways regarding this access.	2. None
		3. Referring to 4.2 Sustainability: Halstead is self – sufficient in water from 2 bore holes, one down Parsonage street and one at Does Corner.	3. Noted	3. None
		4. Short term parking will not be available outside BDC office at The Centre	4. The shoppers' car park is nearby.	4. None
022	Pauline Gladwin, 107 Nether Court	1. Objects to the development	1. Noted	1. None
023	Kaveri Woodward, 2 Mallowfield	1. Objects to the development due to visual impact on the town, the air raid shelters, greenery and wildlife.	1. Noted	1. None
		2. The area would be more appropriately used as a managed open space with public access. The air raid shelters should be preserved.	2. Noted	2. None
024	Judith Slater Morris Green, Sible Hedingham	1. Objects to the brief for reasons already covered including the air raid shelters, retention of flora/ fauna and unsuitable highway access.	2. Noted	2. None
		2. Questions whether BDC has the authority to make CPO's on any of the land for development which is not a necessity.	2. Noted	2. None
		3. Objects to taxpayers' money being spent on paying consultants to produce the brief.	3. Noted	3. None
		4. Propose single storey sheltered accommodation on BDC land with the remainder of the site opened to the public as a nature park and school resource.	4. Noted	4. None
		5. Protect all the air raid shelters.	5. Noted	5. None but may depend on English Heritage response.
025	Michael Hawes 2 Swallows Walk	1. Supports the proposals.	1. Noted	1. None
		2. 'Halstead in Bloom' would like to be involved in landscaping ideas.	2. Noted	2. None at present
026	Lilian Devereux	1. Supporting the proposals	1. Noted	1. None

# Appendix 7

## Minutes (relevant extract) Halstead Area Committee

21<sup>st</sup> December 2004

### Present

Councillors	Present	Councillors	Present
Mrs J C Beavis	Yes	B J Gaught	Apologies
S J Bolter	Yes	N R H O Harley	Yes (until 8.45pm)
R J Bolton (Chairman)	Yes	N G McCrea	Yes
B T Broyd	Yes	Mrs J A Pell	Yes
Mrs H W Catley	Apologies	J W Pilgrim	Apologies
J C Collar	Yes	Mrs W D Scattergood	Yes
Mrs B A Gage	Yes	A F Shelton	Yes
M G Gage	Yes	Mrs G A Spray	Apologies

### 76 DECLARATIONS OF INTEREST

The following declarations of interest were made: -

Councillors Mrs B A Gage and M G Gage both declared a personal & prejudicial interest on Agenda Item 7 – Development Brief, Land to the east of the High Street, Halstead as a family member was speaking on the issue in Public Question Time. Both Councillors left the meeting for Item 7 and for the aspect of Question Time whilst the public was speaking on this issue.

Councillor Mrs J A Pell declared a personal interest in

- (i) Agenda Item 7 – Development Brief, Land to the east of the High Street, Halstead, as she knew some of the objectors and through her involvement as a member of the Halstead Residents Association and as a Halstead Town Councillor.

Councillors B T Broyd and A F Shelton both declared a personal interest in

- (i) Agenda Item 7 – Development Brief, Land to the east of the High Street, Halstead as some of the landowners involved may be known to them. Both Councillors remained in the meeting and took part in the discussion on this item, but did not vote.

In accordance with the Code of Conduct, all Councillors remained at the meeting, unless stated otherwise, and took part in the discussion for all the above items and the vote thereon.



### 77 MINUTES

**DECISION:** The minutes of the meeting of the Halstead Area Committee held on 23<sup>rd</sup> November 2004 were approved as a correct record and signed by the Chairman, subject to the requirement in relation to Planning Application No. 03/01870/FUL – Riverside Business Park, Station Road, Earls Colne being amended to read 'Members also requested that Officers monitor the development and conditions, in particular the landscaping scheme'.

### 83 DEVELOPMENT BRIEF – LAND TO THE EAST OF THE HIGH STREET, HALSTEAD

**INFORMATION:** The Committee received the above draft report and noted the responses and the actions to be taken following the consultation process, on this area of Halstead that had been identified for development within the Local Plan. The Brief identified fragmented ownership of the site and discussions would be required with all relevant landowners.

During the discussion some Members considered this would be a valuable opportunity to provide a service road or service area to the back of the properties to help alleviate traffic congestion on the High Street. Appropriate access to the site raised another concern as St Andrews Road and The Centre were considered unsuitable. Members noted that the provision of a service area to the rear of the shops would impact on elements in the site and restrict the developable area.

The proposal to investigate a service area and produce a traffic assessment was moved and seconded, but on being put to the vote a tie decision was realised and the Chairman used his vote in favour of the decision.

### **DECISION:**

1. That the Director of Financial Services be requested to appoint Highway Consultants to:-
  - (a) Investigate the possibility of providing a rear Servicing Access for the commercial premises in the High Street, Halstead
  - (b) Carry out a Traffic Impact Assessment.
2. That a verbal report be provided to the next meeting on 18<sup>th</sup> January 2005 with an update on financial implications and to confirm the timetable for additional information and potential public consultation and amendments to the Brief.



# Appendix 7

PLEASE NOTE: The full list of standard conditions and reasons can be viewed at the office of Planning Services, Council Offices, Causeway House, Bocking End, Braintree, Essex CM7 9HB.

(Where applications are marked with an \* this denotes that representations were received and considered by the Committee).

R J BOLTON (Chairman)

## Appendix Halstead Area Committee

21<sup>st</sup> December 2004

### PUBLIC QUESTION TIME

#### Summary of Questions Asked / Statements Made During Public Question Time

#### Statements relating to Agenda Item 7 – Development Brief – Land to the east of the High Street, Halstead

(i) Statement by Mrs G Malyon, 12 Factory Terrace, Halstead

Mrs Malyon stated that she had moved to Halstead 15 years ago and the town had everything she needed, but considered an important part of Halstead would be destroyed by developing the area east of the High Street.

Mrs Malyon considered that no further traffic was needed in the areas of Mallowsfield and The Centre and that the proposed footpaths in the Brief would encourage crime and criminal damage. The proposal would also destroy wildlife and Mrs Malyon requested that the Brief be rejected. It was also suggested that the industrial area in Factory Lane West be moved to the outskirts of the town, thereby improving the area and remove traffic.

(ii) Statement and question by Mrs S Morley, on behalf of Hopkins Homes and the Salvation Army Housing Association

Mrs Morley represented Morley Riches and Ablewhite, agents for Hopkins Homes in respect of land acquisition on the proposed site. Her clients were in

discussion with the Salvation Army Housing Association and she made a statement on their behalf supporting proposals to develop land to the east of the High Street. Discussions had been held with the District Council's Housing department and an affordable housing element had been identified to provide sheltered accommodation for the elderly. Similar housing schemes are within the agents property portfolio and the Salvation Army Housing Association as one of the major land owners of the site were keen to work with the Council to manage such a facility.

On behalf of the Salvation Army Housing Association, Mrs Morley raised objection to the Council's response on 'the commercial aspects of the development to be put into context' (Page 60 of the report) and considered this inadequate as the Council's land values should be treated equally with the others concerned.

*The Area Development Control Manager addressed this issue in the presentation.*

(iii) Statement by Mrs J Slater, Morris Green, Nr Sible Hedingham

Mrs Slater distributed photographs to the Committee to illustrate the types of vehicles using the High Street, and stated that the proposals were unsustainable from the highways aspect. Access onto Halstead High Street was considered unacceptable and Mrs Slater referred to two recent accident fatalities in the High Street and other incidents, and considered that 80 dwellings and a 30 space car park with only one point of egress on a steep hill was unsuitable. Pedestrians crossing the road and using the area were considered to be more at risk and the proposed car park would increase traffic flows in an area that already suffers from traffic congestion.

(iv) Statement by Mr M Fleet, 67 High Street, Halstead

Mr Fleet referred to his representation on Page 53 of the report, and stated that he had been owner of Interphase Electrical at 67 High Street for 35 years. Mr Fleet could not understand how proposed pedestrian walkways or cycle paths could be routed through his car park when he had not been involved in any negotiations. Lorries to his site and the storage of goods were also queried and many residents are asking if he is moving when he is unaware of the full details.

# Appendix 7

## Braintree District Council Halstead Area Committee Meeting 18 January 2005 – Report and minutes



2.1

<b>Report To/ Decision Making Body:-</b> <b>HALSTEAD AREA COMMITTEE</b>	<b>Date of Meeting:-</b> <b>18 January 2005</b>	<b>Agenda Item:-</b>
<b>Title of Report:- Land to the East of the High Street, Halstead - Development Brief Supplementary Report</b>		
<b>Wards Affected:-</b>	<b>Background Papers:- Report to Halstead Area Committee Meeting 21<sup>st</sup> December 2004 Agenda Item 7</b>	
<b>Financial Implications:- Proposals are linked to the re-development of the site which includes land in the Council's ownership</b>	<b>Policy Implications:- As set out in the Reports and Development Brief</b>	
<b>Sustainability Implications:- As set out in the Development Brief</b>	<b>Equalities Implications:- None</b>	

### 1. PURPOSE OF REPORT

1.1 At the Halstead Area Committee meeting of 21<sup>st</sup> December 2004 Members considered a report on Land East of the High Street, Halstead - Development Brief (Agenda Item 7) seeking authority to approve the Brief as a supplementary planning document. The item was deferred for the following reason.

The Director of Financial Services to be requested to appoint Highway Consultants to:-

- a) Investigate the possibility of providing a rear servicing access for the commercial premises in the High Street.
- b) Carry out a Traffic Impact Assessment.

In response to this request Officers have carried out further consultations as set out below.

### CONSULTATION

The Council's Engineers have looked at The Centre roads and the junction with the High Street and advise that the width of the road "The Centre" is approximately 4.5 metres. This would be totally inadequate and with no potential to upgrade to a suitable standard for a service yard access. The increased use by heavy vehicles at this location would also be in conflict with pedestrian activity and would not be encouraged if a safety audit were carried out.

Essex County Council Highways and Transportation confirm their agreement with the Council's Engineer's commenting that access to the site for large vehicles is likely to be problematic and the junction of The Centre with the High Street would be difficult to alter due to the limited space available.

2.3 Essex County Council Built Environment Branch who prepared the Development Brief for the Council have advised against providing any rear access road to serve the High Street premises for the following reasons:-

1. It would be difficult to upgrade The Centre access road and the junction with the High Street to be adequate for large vehicles.
2. The configuration of the proposed new road has been designed to avoid existing trees and takes into account site gradients. This is unlikely to be suitable for large delivery vehicles.
3. Space required for the parking and turning of large vehicles at the rear of the High Street buildings would be substantial and would be likely to result in loss of mature trees and provide an inappropriate setting for historic buildings around the perimeter.
4. Provision of rear servicing would be likely to conflict with the desirable pedestrian and cycle links to the High Street.
5. The introduction of servicing vehicles into the area may be detrimental to the amenities of future residential occupants of the site.
6. The listed status of many of the High Street premises may render them unsuitable for rear servicing.
7. The area of land required together with other site constraints could compromise the viability of the development of the site.



# Appendix 7

8. Alterations required to the junction of The Centre road with the High Street would probably have a detrimental visual effect on the High Street Conservation Area.
9. The provision of a service area may exacerbate instances of anti-social behaviour.

2.4 Essex County Council's Historic Buildings Advisor has commented that a service yard area to the rear of the shops in the High Street would be likely to create an arid space which would affect both the character of the historic buildings, many of which are listed and lessen the aesthetic and amenity value of a new development. This would cause unacceptable damage to the setting and character of the listed buildings and the Conservation Area.

2.5 Finally, it should be noted that the Brief does propose some commercial and live work units which will need to be serviced. There may be an opportunity for any proposed servicing arrangements to include some servicing of High Street premises if appropriate. The text of the Brief could be amended to make the investigation of the servicing needs of the High Street retailers a requirement and if practical provision of some shared servicing facilities could then be made.

## **Traffic Impact Analysis**

2.6 Paragraph 4.4 of the Brief makes it clear that prior to any planning application a Traffic Impact Assessment will be required. It anticipates the requirements for improvements to the junction of The Centre and also improved traffic management in Parsonage Street. Furthermore, paragraph 4.15 of the Brief highlights that if such a Traffic Impact Assessment necessitates further highway work to be implemented this would also be a Section 106 requirement. Such an assessment is normally a cost to be borne by a developer. Furthermore, the value of an assessment carried out at present time would be limited. The site will take time to come forward for development and traffic activities in Halstead will change over time therefore it will still be necessary for a Traffic Impact Assessment to be carried out at the time of any planning application. It is therefore not appropriate for the Council to fund a study at the present time when this work should be a cost to any future developer of the site.

## **Consultants Additional Fees**

2.7 Preliminary fee proposals have been received from highway planning consultants which indicate the following additional costs.

Investigating rear servicing including a survey of High Street premises to identify specific servicing requirements between £2,400 and £2,750 plus VAT plus expenses.

Traffic Impact Assessment between £2,800 and £4,000 plus VAT plus expenses.

Amendments to the Draft Development Brief to accommodate an alternative layout arrangements and additional information £1,250 plus VAT.

2.8 Initial indications are that the Traffic Impact study and investigation of rear servicing would be likely to take 4 to 6 weeks. In addition to this, further time would be required to amend the Draft Development Brief and any significant amendments would also require a further round of public consultation prior to adoption.

## **3.0 RISKS**

3.1 There is a very high risk that pursuing a rear servicing proposal would render the site non-viable and considerably delay its development.

## **4.0 CONCLUSIONS**

4.1 For the reasons set out above it is not considered appropriate that additional consultants should be appointed to undertake further investigations as requested by the Area Committee. However, the text in the Brief can be expanded to require investigation of rear servicing needs for the High Street linked to proposed servicing arrangements for the commercial units to be included

## **5.0 RECOMMENDATION(S) FOR DECISION**

**That subject to the amendments set out in the conclusions above and the amendments set out in the conclusions of the report to the Area Committee on 21<sup>st</sup> December 2004 the Area Committee approve the Development Brief as a Supplementary Planning Document.**

**Date report prepared: 17 January 2005**

**Author(s): Mr A Davies**

**Designation- Area Development Control Manager**

**Ext no 2517**

**Address:- adada@braintree.gov.uk**

# Appendix 7

## Minutes (relevant extracts) Halstead Area Committee

18<sup>th</sup> January 2005



### Present

Councillors	Present	Councillors	Present
Mrs J C Beavis	Yes	B J Gaught	Apologies
S J Bolter	Yes	N R H O Harley	Apologies
R J Bolton (Chairman)	Yes	N G McCrea	Yes
B T Broyd	Apologies	Mrs J A Pell	Apologies
Mrs H W Catley	Yes	J W Pilgrim	Yes
J C Collar	Yes	Mrs W D Scattergood	Yes
Mrs B A Gage	Yes	A F Shelton	Yes
M G Gage	Yes	Mrs G A Spray	Apologies

### 85 DECLARATIONS OF INTEREST

The following declarations of interest were made: -

Councillors Mrs B A Gage and M G Gage both declared

- (i) a personal & prejudicial interest on Agenda Item 7 – Development Brief, Land to the east of the High Street, Halstead as a family member represents landowners of the site. Both Councillors left the meeting for Item 7 and for the aspect of Question Time whilst the public were speaking on this issue.

Councillor Mrs H W Catley declared a personal interest in

- (i) Agenda Item 7 – Development Brief, Land to the east of the High Street, Halstead, as a Halstead Town Councillor.

Councillors Mrs J C Beavis and A F Shelton both declared a personal interest in Agenda Item 7 – Development Brief, Land to the east of the High Street, Halstead as some of the land owners were known to them.

In accordance with the Code of Conduct, all Councillors remained at the meeting, unless stated otherwise, and took part in the discussion for all the above items and the vote thereon.

### 86 MINUTES

**DECISION:** The minutes of the meeting of the Halstead Area Committee held on 21<sup>st</sup> December 2004 were approved as a correct record and signed by the Chairman, subject to the statement by Mrs S Morley in Public Question Time being amended to clarify on whose behalf she was speaking. The word ‘agents’ being corrected to ‘Salvation Army Housing Association’ in the last sentence of the first paragraph, and ‘the Salvation Army Housing Association’ at the start of the second paragraph being corrected to ‘Hopkins Homes’.

### 90 DEVELOPMENT BRIEF – LAND TO THE EAST OF THE HIGH STREET, HALSTEAD

**INFORMATION:** The Committee received a supplementary report distributed at the meeting on the Draft Development Brief. The Area Development Control Manager explained that various bodies had been consulted regarding the issues identified at the last meeting, and that both District and County Council engineers had agreed that the access road and junction at The Centre was not suitable for a service yard access. The County Council’s Built Environment Branch had advised against provision of a rear access for numerous reasons as identified in the report, including lack of turning space for servicing vehicles and conflicting with desirable pedestrian and cycle links to the High Street. There was also concern regarding the impact to the setting and character of the listed buildings and the Conservation Area. However, it was noted that the road was adequate for ‘low key’ servicing, i.e. refuse collection trucks and emergency vehicles.

The request for a traffic impact assessment had been investigated and Officers had advised for it to be undertaken by the developers near the time of application. The cost of consultants’ fees for investigating a rear servicing area, undertaking a traffic impact assessment plus any amendments to the draft Development Brief was noted.

Members realised that a rear service road/loading bay may not be possible but urged that arrangements are made for a safe loading/unloading bay for vehicles and to alleviate any problems at The Centre. The use of Chapel Street by servicing vehicles for Somerfield’s supermarket was also mentioned.

As the Development Brief incorporates a commercial area Members considered that articulated lorries would need access and preferably a turning area.

The Committee requested that

1. The adopted version of the Brief stress that consultation with residents and businesses is required
2. That comments received during adoption of the draft Brief are included



# Appendix 7

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3. Consideration be given to providing low cost affordable housing for young persons.

**DECISION:** That subject to the amendments set out in the conclusions of the supplementary report dated 18<sup>th</sup> January 2005,(including those comments indicated above) and those indicated in the conclusion of the report to Area Committee of 21<sup>st</sup> December 2004 that the Development Brief be approved as a Supplementary Planning Document.

## Appendix Halstead Area Committee

18 January 2005

### PUBLIC QUESTION TIME

#### Summary of Questions Asked / Statements Made During Public Question Time

#### 3.0 Statements relating to Agenda Item 7 – Development Brief – Land to the east of the High Street, Halstead

##### (i) Statement by Mr J W Drake, 58b High Street, Halstead

Mr Drake stated that the area of land to the east of the High Street had been under negotiation for over 20 years, with several reports made and no final outcome. Mr Drake had attended the public exhibition and considered that the public should have had full details of the scheme at that stage of consultation, and that this issue should currently be deferred to allow for this.

From the report handed out at the meeting, Mr Drake highlighted the following issues –

- a. That vehicular access to the back of the buildings be looked at further, and appropriate parking for shopkeepers on their own property
- b. More starter homes were required in the scheme
- c. The water drainage of the site require investigation as the bottom of that area suffers from flooding
- d. That Gate House Yard be protected, and
- e. That the full history of the air raid shelters and the radio station be acquired before any decisions are made.

*The Area Development Control Manager addressed these issues during the presentation*

##### (ii) Statement by Mrs J Slater, Morris Green, Nr Sible Hedingham

Mrs Slater made the following representations against the scheme – Numerous plots cannot be considered as one site as nine different landowners are involved

- The Centre and its car park can only be considered as a brownfield site, with the remainder being greenfield
- One access to the site was insufficient for 80 dwellings and a 30 vehicle car park, with recent pedestrian fatalities on the High Street
- The statistics of a traffic survey were queried and the time of day undertaken, with a potential of excessive traffic levels on the High Street considered foolhardy and negligent for Halstead town centre
- The provision of any service road requires the assessment of delivery trucks using the area, and
- That English Heritage were a more suitable contact than the archaeo - logist at Essex County Council regarding the air raid shelters on the site.

*The Area Development Control Manager addressed these issues during the presentation*

##### (iii) Statement by Mr M Fleet, 67 High Street, Halstead

Mr Fleet stated that a proposed public footpath across his land was considered unsafe as his business use forklift trucks and other vehicles in the area. The land under Mr Fleet's ownership was queried on the plans and the access from his property onto the High Street was only considered sufficient for a small car.

*The Area Development Control Manager in his presentation clarified the curtilage of Mr Fleet's land*

# Appendix 7

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## **Response received from English Heritage**

**11 March 2005**

As requested: I write to repeat the thrust of our conversation on Wednesday. We have no evidence at present that makes us conclude that these surviving shelters are of special significance. We have not inspected them, and thus cannot offer a definitive view as to their merits: that is a matter best left to the local planning authority at this stage. We have received no official request to consider them for designation and thus have not investigated them.

Yours,

Roger Bowdler

Dr Roger Bowdler  
Head of Territory Designation, English Heritage  
23 Savile Row, London W1S 2ET  
020-7973 3790  
07850 821766

## **Braintree District Council Statement of Community Involvement**

Braintree District Council have not started their statement of community involvement and will not be doing so until starting work on the Local Development Framework. At the time that this Development Brief was approved the Council was in the process of adopting Braintree District Local Plan Review, which was at an advanced stage. The Inspectors Report, was published in 2004, and was being considered by the Council. Since this Development Brief was approved in January 2005 and prior to its final publication, the Braintree District Local Plan Review was subsequently adopted in July 2005.





ESSEX COUNTY COUNCIL  
FIELD ARCHAEOLOGY UNIT      LEVELS REGISTER

SITE Halstead 1342 CODE						Sheet 1 Number	
Description	Plan/ Section n	Level No.	Bench Mark	Back Sight	Level Height	Fore Sight	Reduced Level
Post Office TBM		-	41.33	0.89	42.22	0.21	42.01
Drain near road under arch		-	42.01	1.60	43.61	1.93	41.68
Area A		1	41.68	3.03	44.71	0.12	44.59
Area A		2	44.59	3.00	47.59	1.84	45.75
Area A		3	45.75	1.95	47.70	1.77	45.93
Area A		4	45.75	1.95	47.70	1.29	46.41
Area A		5	45.75	1.95	47.70	1.12	46.58
Area A		6	45.75	1.95	47.70	2.77	44.93
Area A		7	45.75	1.95	47.70	3.53	44.17
Area A		8	44.17	1.11	45.28	1.64	43.64
Area A		9	44.17	1.11	45.28	0.13	45.15
Area A		10	45.15	2.12	47.27	0.75	46.52
Area A		11	45.15	2.12	47.27	1.02	46.25
Area B		12	41.68	1.89	43.57	1.99	41.58
Area B		13	41.58	1.70	43.57	1.20	42.08
Area B		14	41.58	1.70	43.57	1.42	42.15
Area C		15	41.58	1.70	43.57	1.44	42.13
Area B		16	41.58	1.70	43.57	1.89	41.68
Area B		17	41.58	1.70	43.57	2.11	41.46
Area C		18	45.75	0.66	46.41	0.45	45.96
Area C		19	45.75	0.66	46.41	0.60	45.81
Area C		20	45.75	0.66	46.41	1.06	45.35
Area C		21	45.75	0.66	46.41	1.58	44.83
Area C		22	44.83	1.35	46.18	1.87	44.31
Area C		23	44.83	1.35	46.18	0.98	45.20
Area c		24	44.83	1.35	46.18	1.71	44.47
Area C		25	44.83	1.35	46.18	2.01	44.17
Back site to TBM 7		-	44.17	1.11	45.28	1.51	43.77
Transfer		-	44.17	1.11	45.28	2.65	42.63
Area D		26	42.63	0.52	43.15	2.58	40.57
Area D		27	40.57	0.44	41.01	1.43	39.58
Transfer		-	40.57	0.44	41.01	1.35	39.66
Area D		28	39.66	1.71	41.37	1.60	39.77
Area D		29	39.77	1.33	41.10	1.56	39.54
Area D		30	39.54	1.42	40.96	1.32	39.64
Area D		31	39.54	1.42	40.96	0.93	40.03
Area D		32	39.54	1.42	40.96	1.74	39.22
Post Office TBM		-	41.33	0.01	41.34	3.91	37.43
Transfer		-	37.43	1.56	38.99	0.98	38.01
Area E		33	38.01	1.44	39.45	1.31	38.14
Area E		34	38.01	1.44	39.45	1.27	38.18
Area E		35	38.01	1.44	39.45	1.22	38.23
Area E		36	38.01	1.44	39.45	0.53	38.92
Area E		37	38.01	1.44	39.45	1.71	37.74

NOTE:  
Additional information added to this  
1:500 map base must not be  
considered accurate: contour  
information must also be checked.

ABC

**iaud**  
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urbandesign.web@essexcc.gov.uk  
county hall chelmsford



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SCALE 1:500

	INITIALS	DATE
SURVEYED	-	-
LEVELLED	NA	NA
DESIGNED	-	-
DRAWN/TRACED	CT	25.01.04
CHECKED	LM	02.02.04
AUTHORISED	-	-

REVISIONS

REVISION		CHECKED	
SUFFIX	BY	DATE	BY

DESCRIPTION OF DRAWING

TOPOGRAPHICAL SURVEY

PAGE1OF1

SCHEME TITLE

HALSTEAD DEVELOPMENT BRIEF  
HALSTEAD  
ESSEX

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